NORTH LOOP RETAIL CENTER

226 & 238 TEXAS LOOP 1604 SAN ANTONIO, TEXAS 78221

BUILDING SYSTEMS:

- 1. CIVIL ENGINEERING: PER CIVIL ENGINEER'S PLANS
- 2. STRUCTURAL FOUNDATION: PER STRUCTURAL PLANS.

 DESIGNED TO SOIL TEST RESULT RECOMMENDATIONS
- 3. STRUCTURAL FRAMING: PER STRUCTURAL PLANS.
- CONSTRUCTION TYPE: II—B, NON COMBUSTIBAL.

 4. EXTERIOR WALL MATERIAL: PER ARCHITECTURAL PLANS
 - LIGHT GAGE METAL STUDS FRAMING WITH R-19 INSULATION AND THERMO-PLY ENERGY SAVING EXTERIOR SHEATHING MATERIAL AND EXTERIOR STUCCO FINISH.

 WALKWAY FASCIA TO BE PANELS MADE WITH FIBER-CEMENT BOARDS.
- 5. EXTERIOR GLAZING MATERIAL: PER ARCHITECTURAL PLANS
 LOW-E INSULATED GLASS, TEMPERED.
 BUTT-GLAZED SYSTEM WITHOUT VERTICAL ALUM. MULLIONS.
 FINISH TO BE SELECTED BY OWNER AND ARCHITECT.
- 6. DOORS: PER ARCHITECTURAL PLANS.
 - STORE ENTRY DOORS TO BE (2) 3'-0" X 10'-0" DOORS.

 OTHERS MIN. 3'X7' 20-MIN. STEEL DOORS FOR LEASE SPACES SERVICE DOORS..
- 7. CEILING SYSTEM: PER ARCHITECTURAL PLANS.
 PROVIDE ACOUSTICAL SUSPENDED CEILING SYSTEM FOR FUTURE TENANTS.
- 8. ROOFING SYSTEM: PER ARCHITECTURAL PLANS.
- EQ. TO TPO SINGLE PLY SYSTEM OVER R-32 RIGID INSULATION PER 2012 IBC CODE.
- 9. MECHANICAL SYSTEM: PER MECHANICAL ENGINEERING PLANS, PER 2012 IMC.
 INDIVIDUAL ROOF TOP UNITS BASED ON LEASE SPACE REQUIREMENTS.
- 10 ELECTRICAL SYSTEM: PER ELECTRICAL ENGINEERING PLANS, PER 2011 NEC.
 INDIVIDUAL METERED BASED ON LEASE SPACE REQUIREMENTS.
 EXPLORE USAGE OF SOLAR PANEL SUPPLEMENTAL SYSTEMS.
- 11. PLUMBING SYSTEM: PER PLUMBING ENGINEERING PLANS, PER 2012 IPC.
 INDIVIDUAL METERED BASED ON LEASE SPACE REQUIREMENTS.
 EXPLORE USAGE OF SOLAR PANEL SUPPLEMENTAL SYSTEMS.
- 12. AUTOMATIC SPRINKLER SYSTEM: PER FIRE SPRINKER ENGINEERING PLANS.

 MEETS FIRE PROTECTION CODE REQUIREMENTS, PER 2003 IFC.

 MUST BE APPROVED BY THE FIRE DEPARTMENT WITH A SEPARATE PERMIT.
- 13. ADA COMPLIANCES: PER ARCHITECTURAL PLANS. TDLR REQUIRED.
 PROVIDE ACCESSIBLE ROUTE FOR PEDESTRIANS FROM CITY SIDEWALK TO THE STOREFRONT.
 PROVIDE ACCESSIBLE MEANS OF EGRESS, ALARM SYSTEM, PARKING SPACES AND ALL OTHER

FIRE DEPARTMENT NOTES:

- 1. ADDRESS NUMBERS AT LEAST 8" HIGH MUST BE VISIBLE FROM THE STREET. THE ADDRESS NUMBERS MUST BE OF A COLOR THAT CONTRASTS WITH THE BACKGROUND AND MUST BE INSTALLED ON THE SIDE OF THE BUILDING THAT FACES THE PUBLIC STREET.
- 2. FOR EACH TENANT SPACE, INCLUDE THE SUITE NUMBER IN 4" NUMBERS NEAR THE FRONT DOOR AND ON THE REAR DOOR.
- 3. PROVIDE A KNOX KEY BOX. FOR ORDERING AND LOCATION INFORMATION CALL EMERGENCY PREVENTION OFFICE.
- 4. PORTABLE FIRE EXTINGUISHERS (NOT LESS THAN 2-A: 10-B-C) MUST BE PROVIDED WITHIN 75 FEET OF ANY POINT IN THE BUILDING, MEASURED ALONG THE PATH OF TRAVEL. IFC 906.
- 5. DUCT DETECTORS ON AIR HANDLERS REQUIRE REMOTE AUDIO/VISUAL INDICATORS IF THE DETECTORS ARE INSTALLED MORE THAN 10 FT ABOVE THE FINISHED FLOOR LEVEL, OR IF THE DETECTORS ARE INSTALLED ABOVE THE CEILING, UNLESS THE DETECTORS ARE CONNECTED TO A FIRE ALARM SYSTEM AND THE LOCATION OF THE DETECTOR IS CLEARLY SHOWN AT THE FIRE ALARM PANEL.

ADA ACCESSIBILITY GUIDELINES:

- 1. ADA AG: 4.1.2 (5): PARKING SPACES (SEE CITY APPROVED SITE PLAN)
- 2. ADA AG: 4.13.8: THRESHOLD AT EXIT DOORS SHALL NOT BE HIGHER THAN 1/2".
- 3. PROVIDE MAX. SLOPE AT 2% IN ANY DIRECTION OUTSIDE OF ENTRANCE DOORS.
- 4. SEE DETAILS ON SHEET A-0.1 FOR BATHROOM FIXTURE CLEARANCE AND MOUNTING HEIGHTS.
- 5. PROVIDE FOR RECEPTIONIST COUNTER: 36"LX18"DX34"H. MINIMUM SIZE.

PROJECT SYNOPSIS PROJECT NAME: NORTH LOOP RETAIL CENTER

LOTS 3 & 4, BLOCK 1, N.C.B. 16329, ALLEN — 1604 SUBDIVISION AS RECORDED IN VOL. 9546, PG 33, DEED & PLAT RECORDS OF BEXAR CO., TEXAS, LOCATED ON LOOP 1604, CITY OF SAN ANTONIO, BEXAR COUNTY, TEXAS

ADDRESS: 226 & 238 TEXAS LOOP 1604 SAN ANTONIO, TEXAS 78221

OWNER: JAVAD BONAKCHI (210) 641.7665

ARCHITECT: TCHEN ARCHITECTS

11908 ANDERSON MILL, Ste-1026 AUSTIN, TEXAS 78726 512.351.1801

CIVIL & STRUCTURAL ENGINEER:

PROFESSIONAL STRUCIVIL ENGINEERS, INC. 12710 RESEARCH BLVD., STE-390 AUSTIN, TEXAS 78759

512.238.6422

ALPACA ENERGY SOLUTIONS, INC.

3532 BEE CAVES ROAD, STE-111 AUSTIN, TEXAS 78746

512.328.8999

USE AND OCCUPANCY CLASSIFICATION: MERCANTILE GROUP M (SEC. 309)

CONSTRUCTION TYPE: 1ST FLOOR AREA: 13,538 S.F.

TYPE II-B, 4-STORY, 12,500 S.F. /FLOOR.

(INCREASE BY 200% WITH AUTOMATIC SPRINKLER SYSTEM, TO 25,000 S.F.)

ZONING DISTRICT: C3 ERZD BUILDING AREA TABULATION:

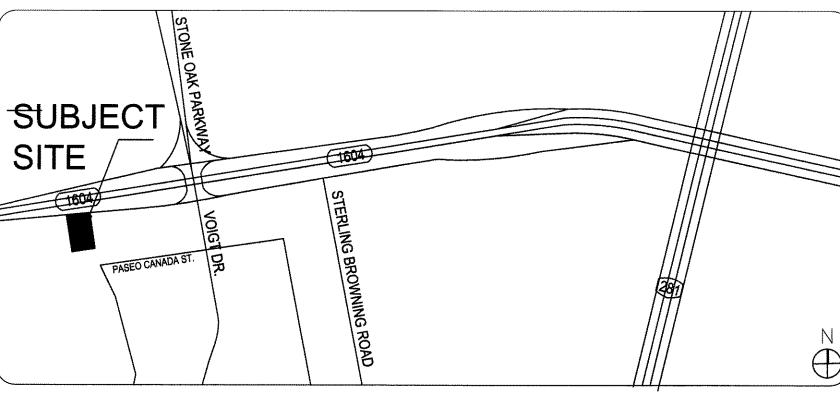
MEP ENGINEER:

1ST FLOOR: 13,538 S.F. LEASE SPACE,

2ND FLOOR: <u>13,888 S.F. LEASE SPACE</u>, 5,682 S.F. WALKWAY AREA

672 S.F. STAIRWAYS

TOTAL LEASE AREA: 27,426 S.F.



COVER SHEET A-0.0TAS & ADA STANDARDS A-0.1 FIRST FLOOR PLAN A-1.0 A-1.1 SECOND FLOOR PLAN **ROOF PLAN** A-1.2 A-2.0 **ELEVATIONS ELEVATIONS** A-2.1 **BUILDING SECTIONS** A-3.0 WALL SECTIONS A-3.1 **DETAILS** A-3.2 **ELEVATOR PLAN & DETAILS** A-3.3 A-3.4 TRASH ENCLOSURE PLAN & DETAILS S 0 **GENERAL STRUCTURAL NOTES** S 1 FOOTING LAYOUT PLAN S 2 COLUMN LAYOUT PLAN SLAB ON GRADE PLAN SECOND FLOOR FRAMING PLAN ROOF FRAMING PLAN UPPER ROOF FRAMING PLAN FOUNDATION DETAILS STEEL FRAME ELEVATION GRID #A STEEL FRAME ELEVATION GRID #D STEEL FRAME ELEVATION GRID #E S 10 STEEL FRAME ELEVATION GRID #F S 11 S 12 STEEL FRAME ELEVATION GRID #H S 13 STEEL FRAME ELEVATION GRID #1 & #2 S 14 STEEL FRAME ELEVATION GRID #3 & #4 S 15 STEEL FRAME ELEVATION GRID #5 S 16 GENERAL STEEL DETAILS S 17 GENERAL STEEL DETAILS S 18 **ELEVATOR CONCRETE WALL** S 19 STAIRW CONCRETE WALL EP-1.0 ELECTRICAL / PLUMBING SITE PLAN E-2.0 FIRST FLOOR ELECTRICAL PLAN E-2.1 SECOND FLOOR ELECTRICAL PLAN E-3.0 **ELECTRICAL NOTES & SCHEDULE** E-4.0 PHOTOMETRIC PLAN P-2.0 FIRST FLOOR PLUMBING PLAN P-2.1 SECOND FLOOR PLUMBING PLAN P-3.0 PLUMBING NOTES & DETAILS

DRAWING TITLE

SHEET

Tchen Architects

11908 ANDERSON MILL, #325
AUSTIN, TEXAS 78726
512.351.1801
512.870.9427 (FAX)
tchen@tchenarch.com
website:www.tchenarch.com

FITES
C, 2011 NEC,
VATION
JILDING
DECT,
VSHIP
NDITIONS.

1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE
LOCAL, STATE, AND NATIONAL CODES AND ORDINANCE AND ALL AUTHORITIES
HAVING JURISDICTION. CITY OF SAN ANTONIO: 2012 INC. 1FGC 2012.

2. CODE, 2012 IRC, IFGC 2012.

3. TCHEN ARCHITECTS SHALL NOT BE RESPONSIBLE OR LIABLE FOR ANY BUILDING CONSTRUCTION MEANS, METHODS, ETHNOLOGIES, SEQUENCES OR PRODUCTS OR FOR SAFETY. PRECAUTIONS AND PROGRAMS RELATED TO THIS PROJECT, NOR SHALL BE LIABLE OR RESPONSIBLE FOR THE QUALITY OF WORKMANSHIP PERFORMED ON THE PROJECT.

3. DO NOT SCALE DRAWINGS FOR ANY DIMENSIONS, CONTACT ARCHITECT IMMEDIATELY FOR ANY DISCREPANCIES ON THE PLANS AND EXISTING CONDITIONS, OUT OF THE CONDITIONS.

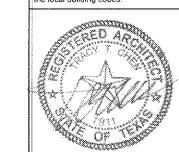
SCALE AS SHOWN

DRAWN BY

REVISIONS

CHECKED BY

in the State of Texas, and that these plans have been prepared by me, or under my direct supervision, and to the best of my knowledge conform to applicable state and the local building codes.



LICENSE NUMBER
7911
EXP. DATE: 1.31.2014

RTH LOOP RETAIL CENTER

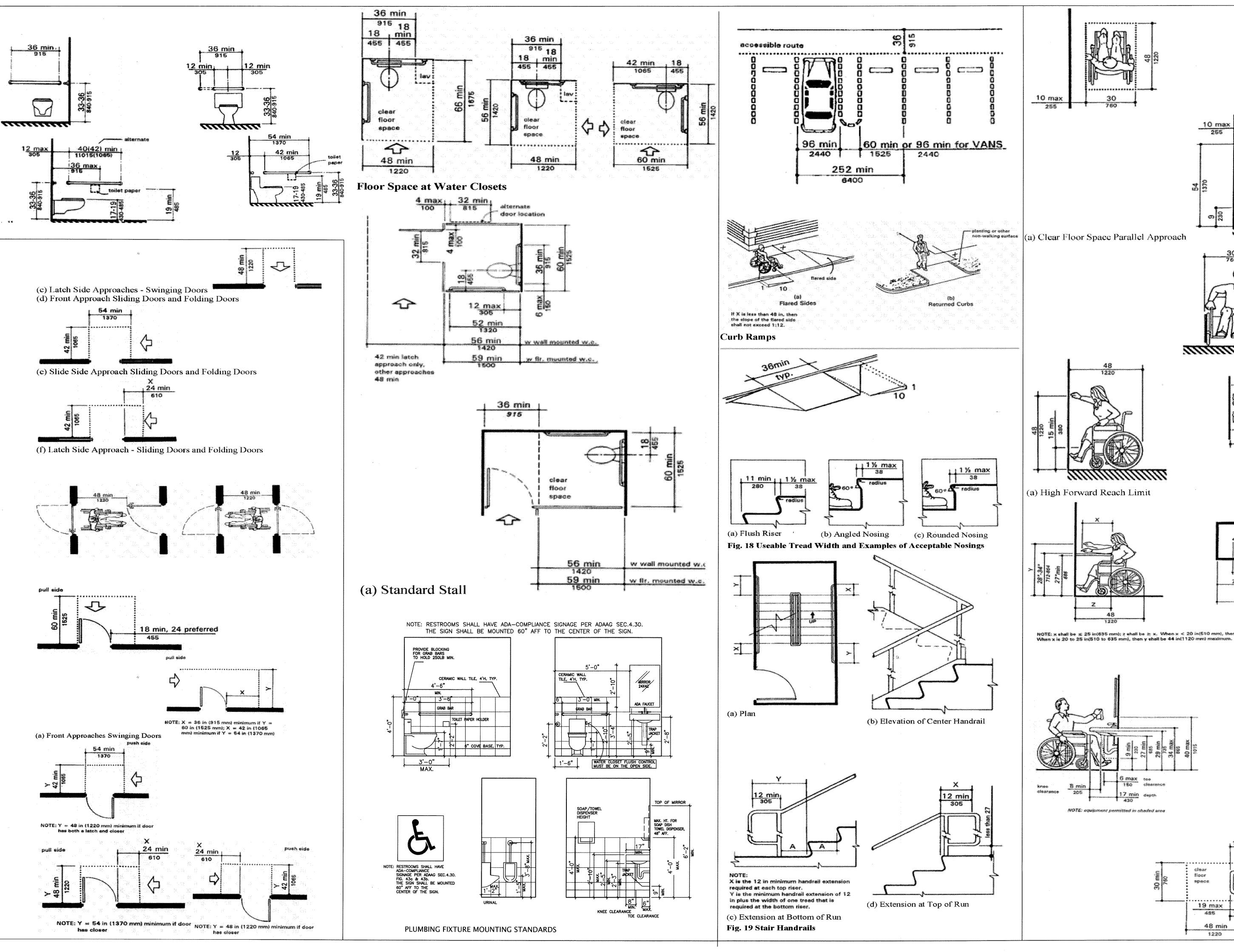
ADDRESS 226 & 238 TEXAS LOOP 1604

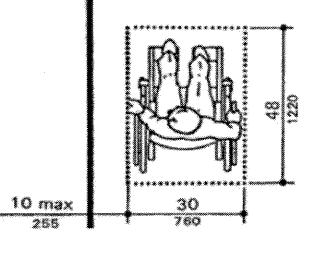
SAN ANTONIO, TX 78232

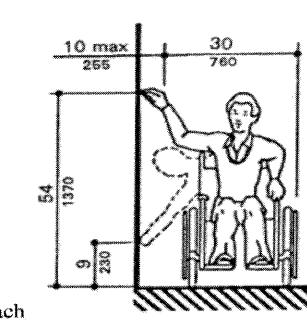
LE

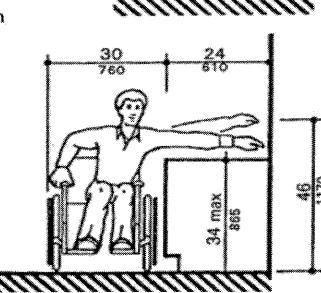
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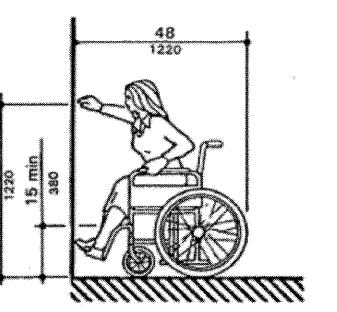
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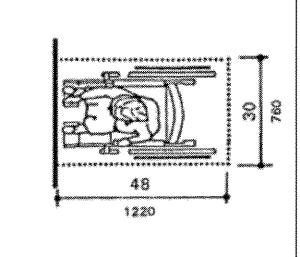


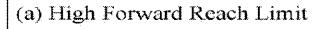


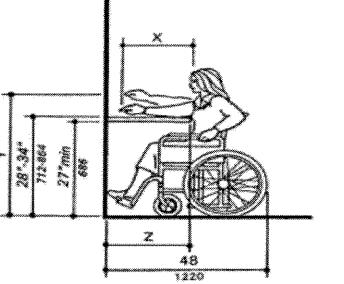


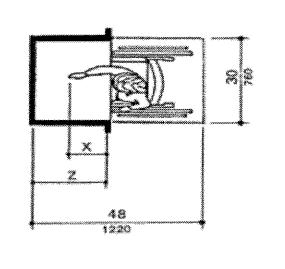




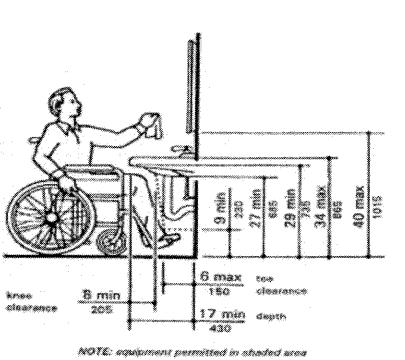


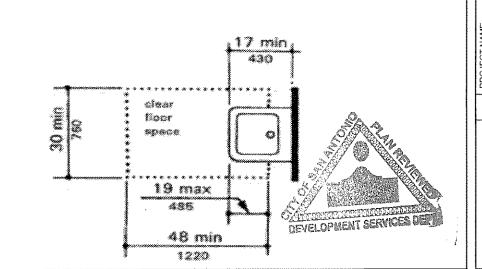






MOTE: x shall be \$ 25 in(635 mm); x shall be \$ x. When x < 20 in(510 mm), then y shall be 48 in(1230 mm) maximum.





Tchen Architects

1908 ANDERSON MILL, #1026 AUSTIN, TEXAS 78726 512.351.1801 512.870.9427 (FAX) tchen@tchenarch.com website:www.tchenarch.com

ISSUE DATE 01.10.2013 DRAWN BY CHECKED BY SCALE AS SHOWN REVISIONS

I hereby certify that I am a licensed architect in the State of Texas, and that these plans have been prepared by me, or under my direct supervision, and to the best of my knowledge conform to applicable state and the

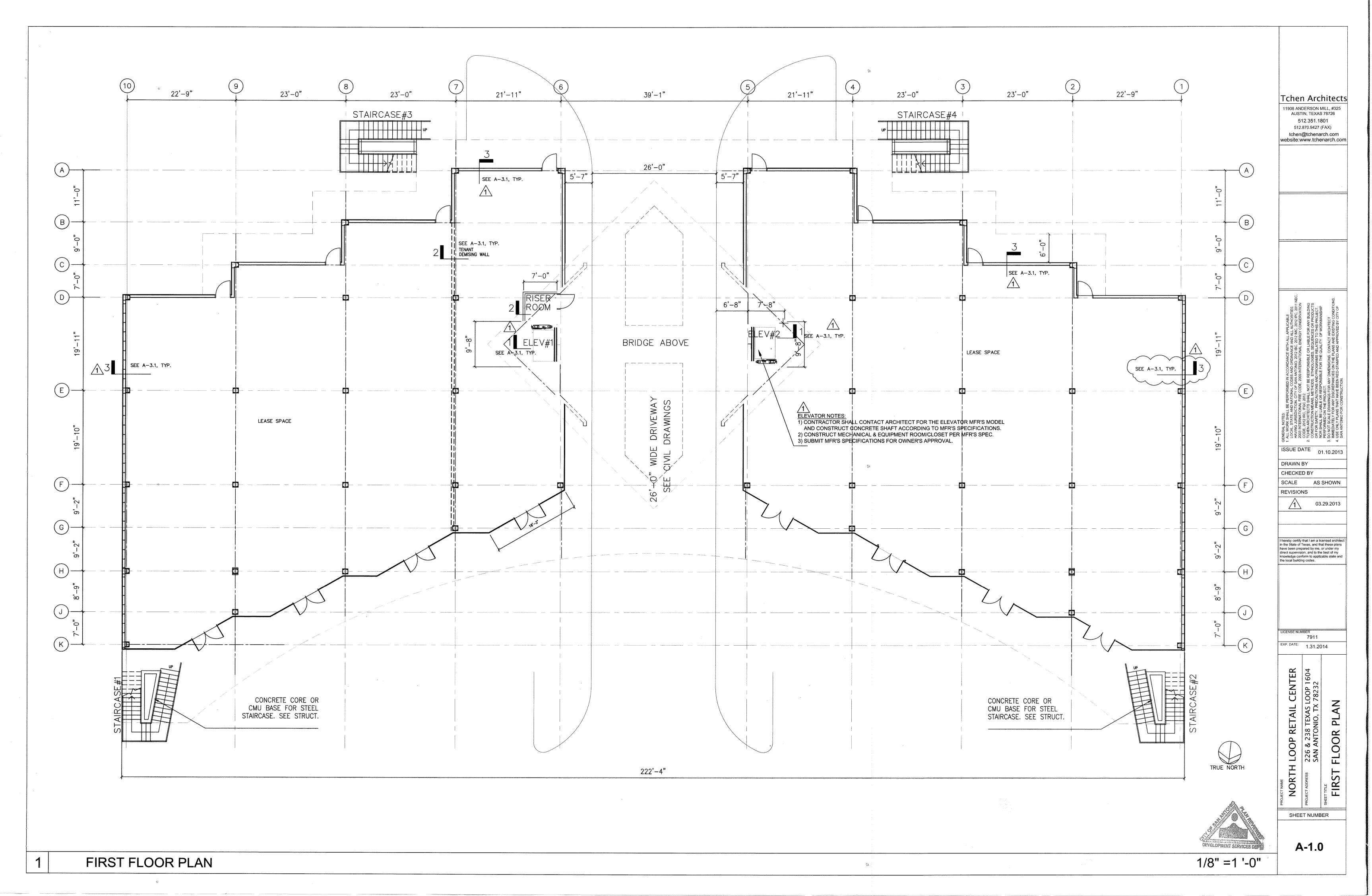


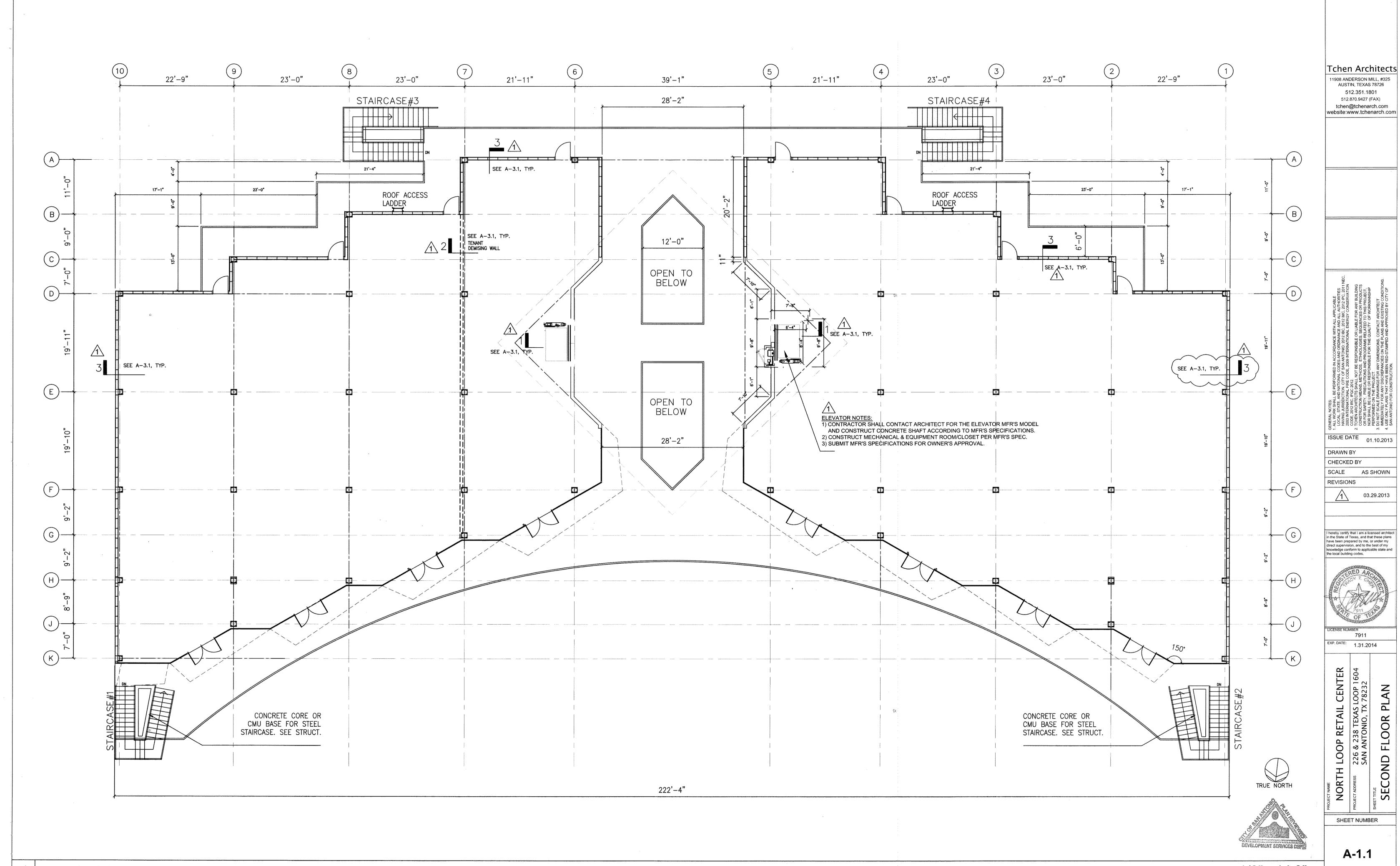
LICENSE NUMBER 7911 EXP. DATE: 1.31.2014

> CENTER 226 & 238 TEXAS LOOP 1604 SAN ANTONIO, TX 78232 STANDARD

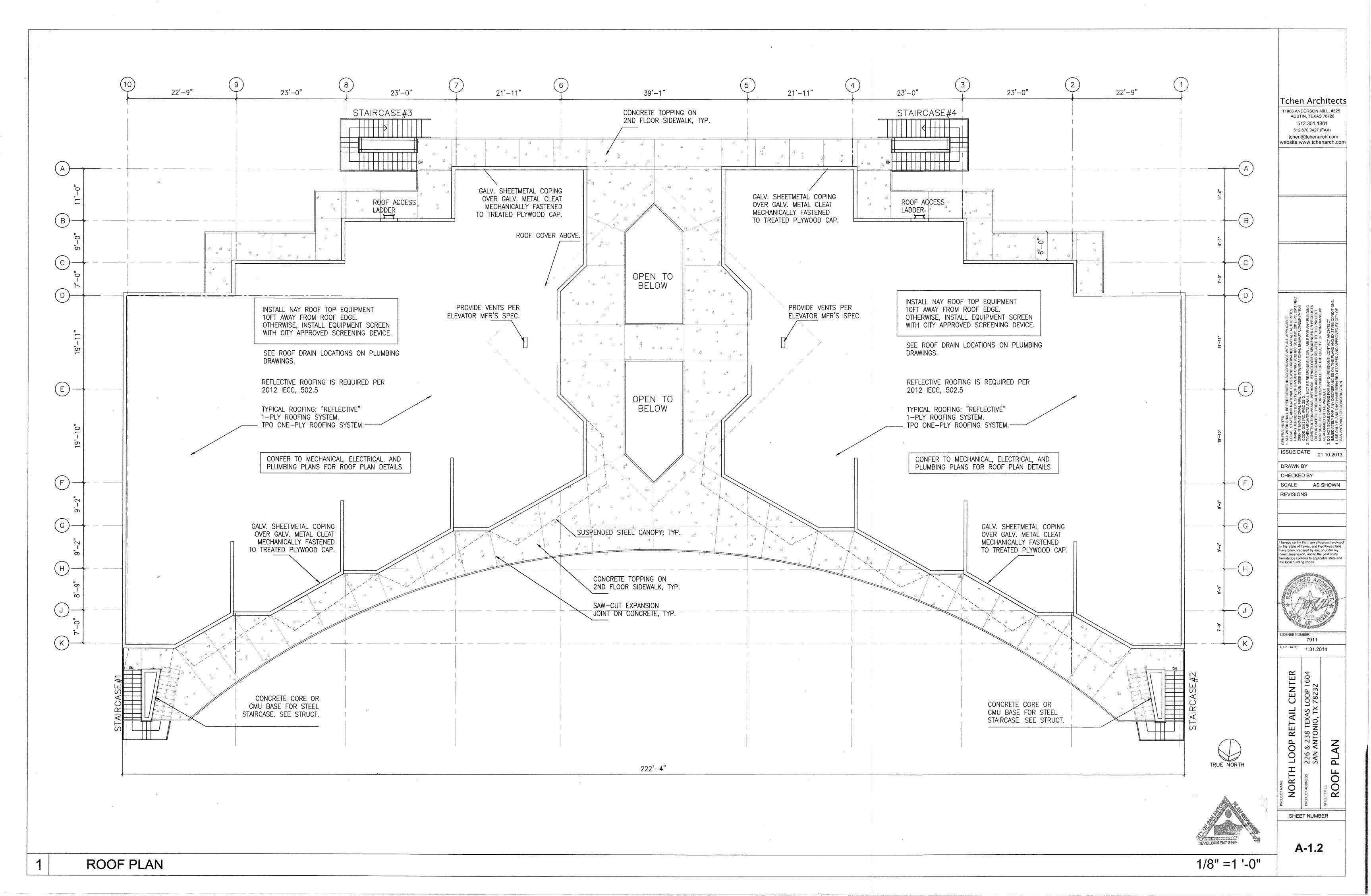
LOOP RETAIL NORTH

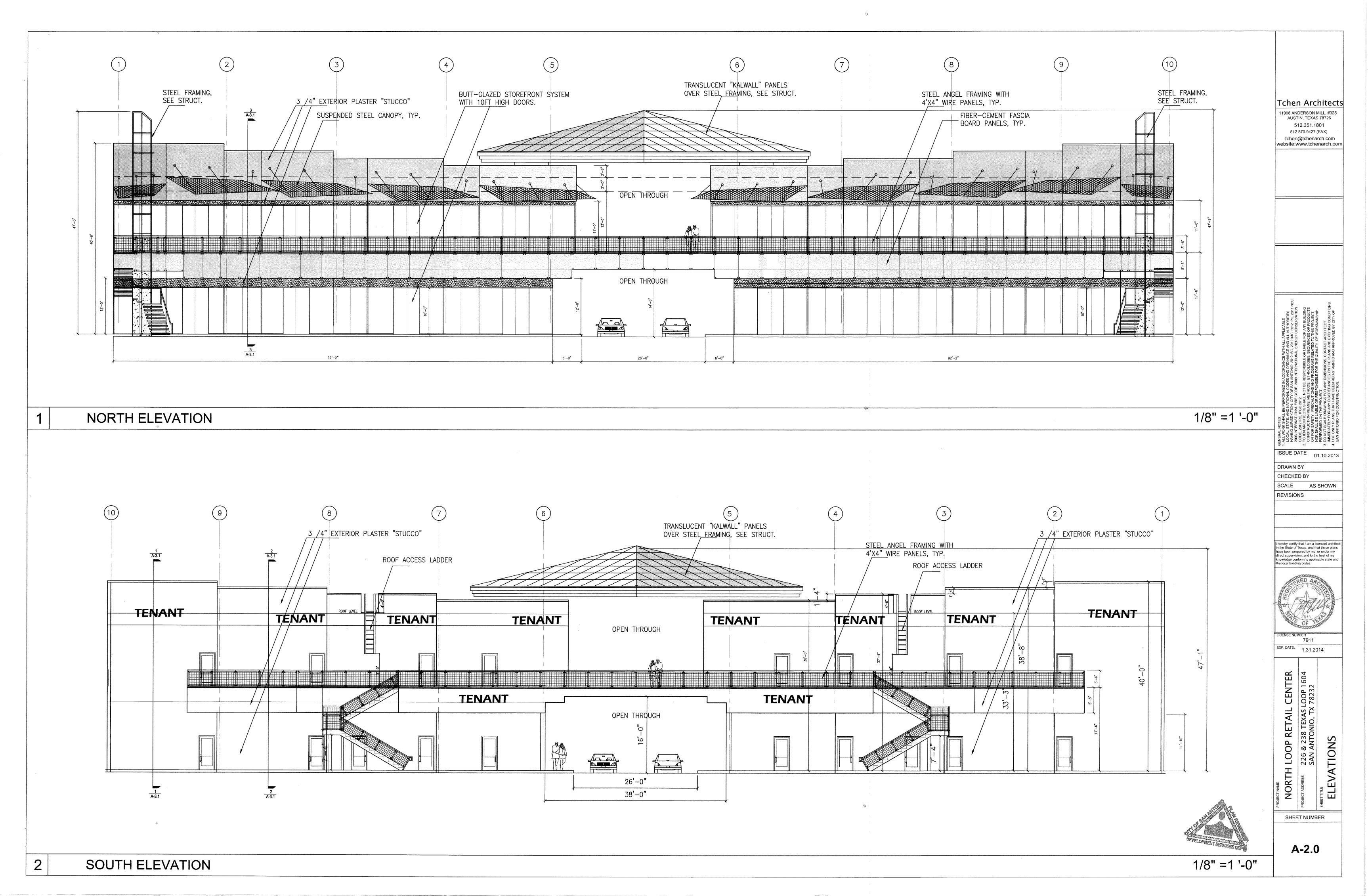
SHEET NUMBER

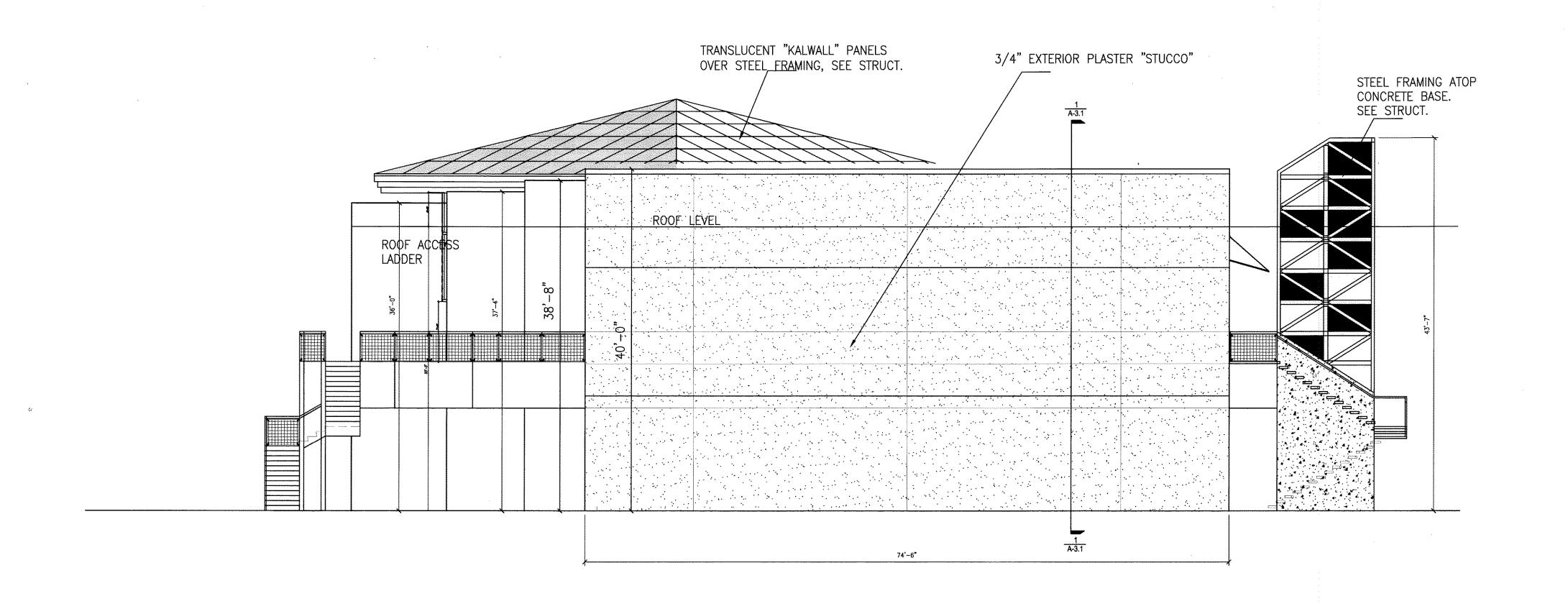




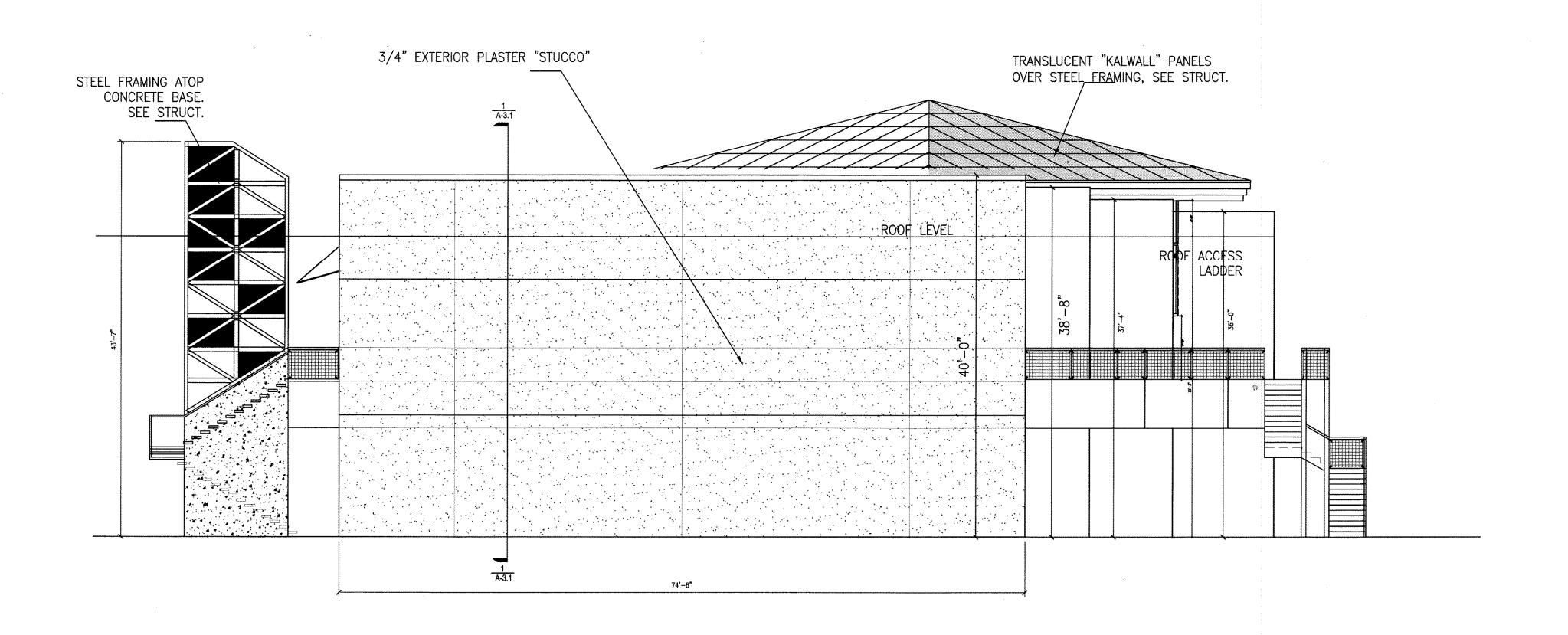
1/8" =1 '-0"







EAST ELEVATION



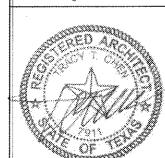


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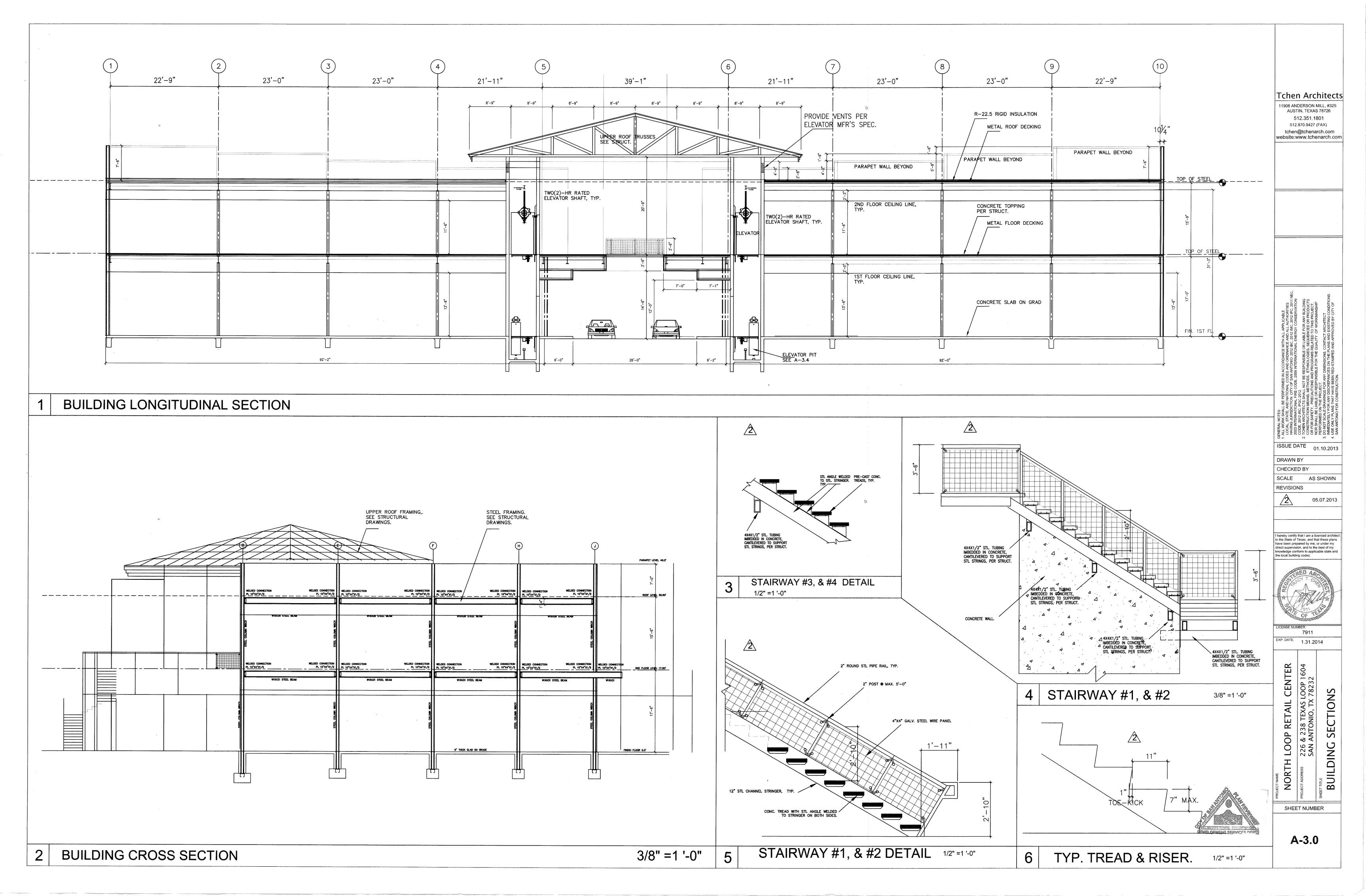


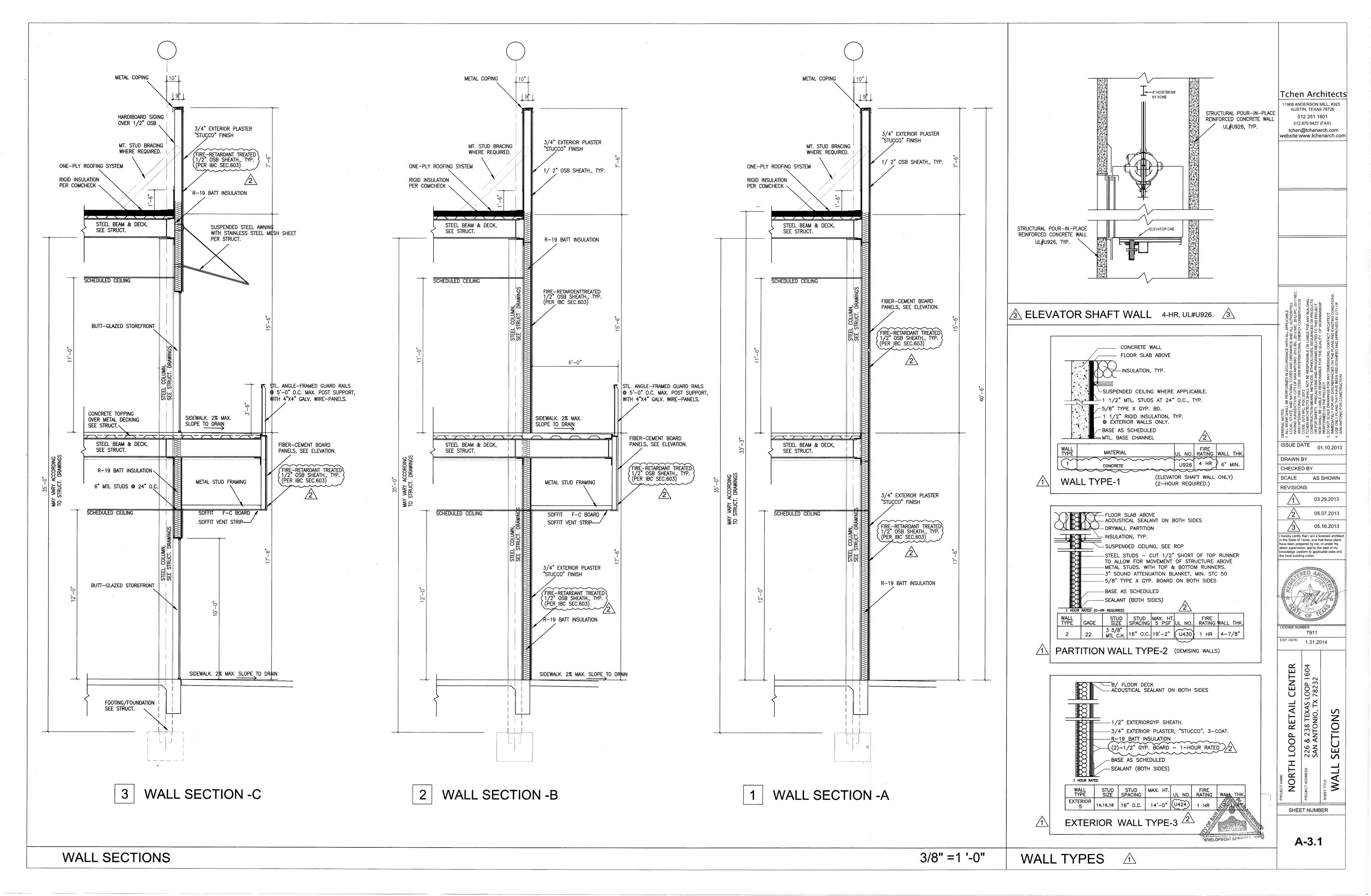
7911 EXP. DATE: 1.31.2014

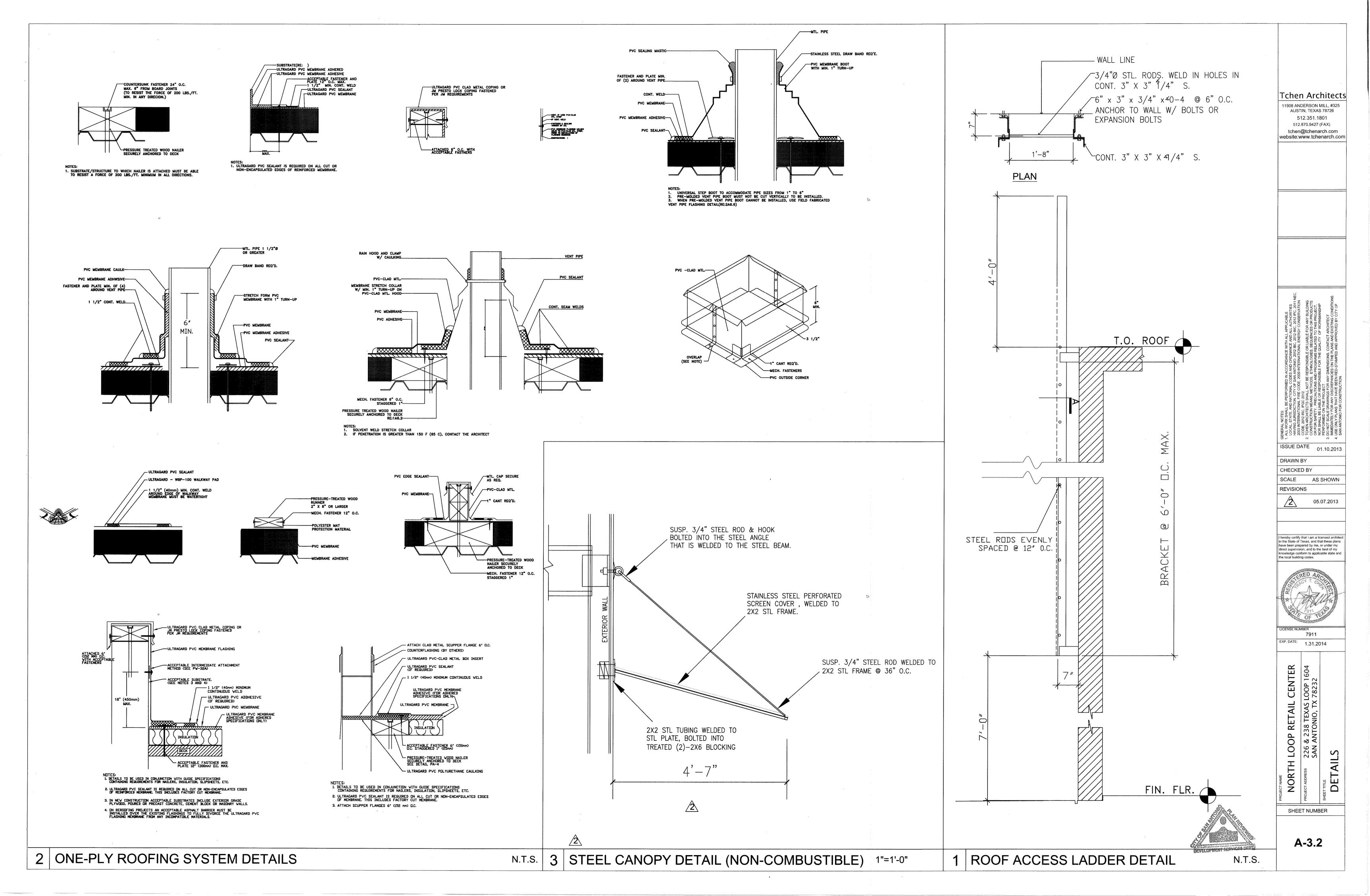
NORTH LOOP RETAIL CENTER
JECT ADDRESS 226 & 238 TEXAS LOOP 1604
SAN ANTONIO, TX 78232

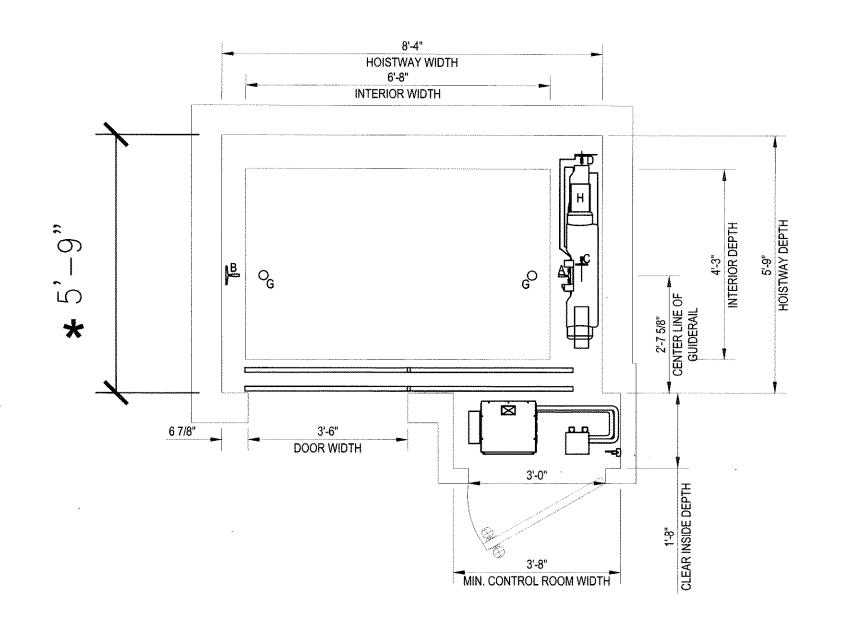
SHEET NUMBER

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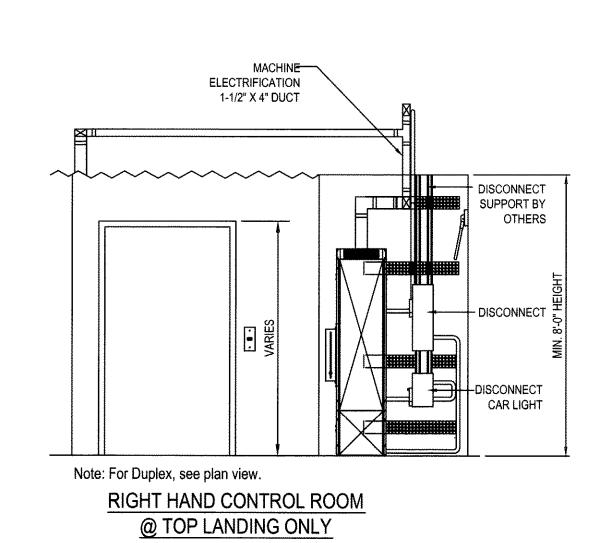


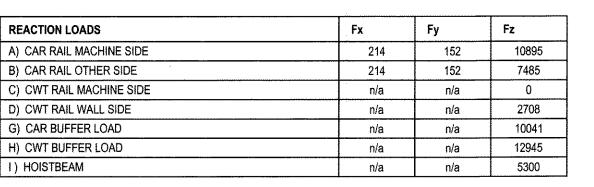


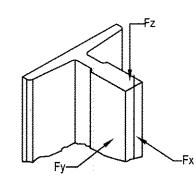
* ELEVATOR NOTES:

1) CONTRACTOR SHALL CONTACT ARCHITECT FOR THE ELEVATOR MFR'S MODEL AND CONSTRUCT CONCRETE SHAFT ACCORDING TO MFR'S SPECIFICATIONS.

2) CONSTRUCT MECHANICAL & EQUIPMENT ROOM/CLOSET PER MFR'S SPEC. 3) SUBMIT MFR'S SPECIFICATIONS FOR OWNER'S APPROVAL.

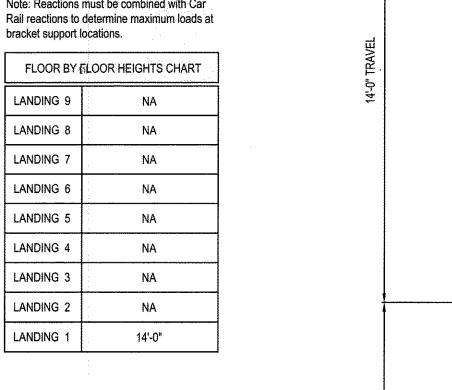


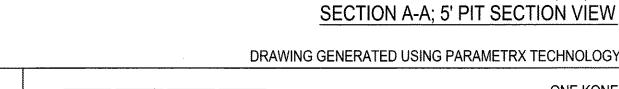




ADDITIONAL REACTIONS					
FO	R MACHIN	E BRAC	KETS		
2500#	Bottom		Тор		
None	X	Υ	X	Y	
Static	450	-250	-450	250	
Dynamic	375	-250	-375	250	
Total	825	-500	-825	500	
Seismic - 2					
Plus X	125	25	-125	200	
Minus X	125	-150	-125	-75	
Plus Y	200	-75	25	75	
Minus Y	25	-75	-250	75	
Seismic - 3 or 4					
Plus X	225	50	-225	375	
Minus X	225	-300	-225	-125	
Plus Y	400	-125	25	125	
Minus Y	50	-125	-475	125	

cket support locations.					
FLOOR BY FLOOR HEIGHTS CHART					
ANDING 9	NA				
ANDING 8	NA				
ANDING 7	, NA				
ANDING 6	NA NA				
ANDING 5	NA NA				
ANDING 4	. NA				
ANDING 3	NA				
ANDING 9	NIA .				





ONE KONE COURT MOLINE, IL

SPECIFICATIONS PRODUCT NAME: KONE ECOSPACE ELEVATOR NON-SEISMIC CAPACITY: 2500 LBS (1134 KG) SPEED: 150 FPM DOOR: LEFT OPENING TRAVEL: 14'-0" CONTROL LOCATION: INTEGRAL CLOSET POWER SUPPLY: 208 REQUIRED FUSE AMPS: 35 CONTROLLER HEAT OUTPUT: 2.4 KBTU/HR MACHINE HEAT OUTPUT: 1.2 KBTU/HR

BRACKET

0.541107.5107.EV/0EED 41 /TOLEED 410 - 01 - 410		
S MUST NOT EXCEED 1". (TOLERANCE = -0" + 1")	10. A PIT LADDER IS SUPPLIED BY KONE UNLESS OTHERWISE NOTED ON THE LAYOUT DRAWING. LOCATE AND INSTALL PER KONE F	FINAL LAYOUT DRAWIN

- 1. PROVIDE A CLEAR, PLUMB HOISTWAY OF THE SIZE SHOWN ON THE FINAL KONE LAYOUT. VARIATIONS N
- 2. PROVIDE ADEQUATE SUPPORT FOR GUIDE RAIL BRACKETS (INCLUDING DIVIDER BEAMS FOR MULTIPLE ELEVATORS IN A COMMON HOISTWAY) FROM PIT FLOOR TO THE TOP OF THE HOISTWAY AND NOT SPANNING FURTHER THAN ALLOWED BY THE GOVERNING CODE AUTHORITY. FIREPROOFING SHALL BE AFTER INSTALLATION OF BRACKETS.
- 3. HOISTWAY VENTILATION SHALL BE PROVIDED PER CODE REQUIREMENTS
- 4. PROJECTIONS REQUIRING BEVELING IN ACCORDANCE WITH CODE REQUIREMENTS SHALL BE BEVELED AT AN ANGEL NOT LESS THAN 75 DEGREES FROM THE HORIZONTAL.
- 5. PROVIDE REMOVABLE, OSHA COMPLIANT BARRICADES AROUND ALL HOISTWAY OPENINGS AND BETWEEN ELEVATORS INSIDE OF THE HOISTWAY AS REQUIRED. PROVIDE TWO LIFELINE ATTACHMENTS AT THE TOP, FRONT OF THE HOISTWAY.
- 6. ARRANGE FOR ALL BLOCK OUT / CUTOUT OF OPENINGS TO INSTALL HALL PUSHBUTTONS, SIGNAL FIXTURES, AND HATCH DUCT.
- 7. PROVIDE A DRY PIT REINFORCED TO SUSTAIN VERTICAL FORCE FROM RAILS AND BUFFERS. REFERENCE THE REACTION LOAD TABLES FOR VERTICAL FORCES. SUMPS AND / OR PUMPS PUMPS (WHERE PERMITTED) LOCATED WIHTIN THE PIT MAY NOT INTRFERE WITH THE ELEVATOR EQUIPMENT
- 8. PROVIDE SUITABLE LIGHTING FOR THE MACHINE SPACE WITH A LIGHT SWITCH LOCATED IN THE HOISTWAY. PROVIDE A LIGHT FIXTURE WITH AND A SEPARATE GFCI
- PROTECTED DUPLEX CONVENIENCE OUTLET IN THE ELEVATOR PIT.
- 9. ENTRANCE WALLS ARE TO BE LEFT OPEN UNTIL THE ELEVATOR EQUIPMENT IS INSTALLED. ADEQUATE SUPPORT FOR ENTRANCE ATTACHMENT POINTS IS REQUIRED ALL LANDINGS. ALL FINISHED FLOORING AND GROUTING IS TO BE INSTALLED AFTER THE ENTRANCE FRAMES ARE INSTALLED.

WINGS.

HOIST BEAM

- 11. AN I-BEAM, PROVIDED BY KONE, MUST BE INSTALLED IN THE ELEVATOR HOISTWAY OVERHEAD PER THE KONE FINAL LAYOUT DRAWINGS.
- 12. FOR PROPER EQUIPMENT OPERATION; THE MACHINE SPACE AT THE TOP OF THE HOISTWAY MUST BE PROPERLY VENTED PER CODE REQUIREMENTS. MAX ALLOWED HUMIDITY IS 95% NON-CONDENSING. HOISTWAY MUST MAINTAIN A TEMPERATURE BETWEEN 41 F AND 104 F.
- 13. THE ACCESS DOOR TO THE CONTROL SPACE OR THE CONTROL ROOM MUST BE SECURED AGAINST UNAUTHORIZED ACCESS. IT SHALL BE SELF LOCKING AND SELF CLOSING.
- 14. PROVIDE A 15-AMP 102V AC FUSED SERVICE WITH GROUND (VIA EMERGENCY LIGHT SUPPLY IF AVAILABLE) CONNECTED TO EACH CONTROL CABINET FOR LIGHTING AND FAN. PROVIDE DEDICATED PHONE LINE TERMINATING AT THE ELEVATOR CONTROL CABINET.
- 15. FOR CONTROL SPACES LOCATED REMOTELY FROM THE ELEVATOR HOISTWAY, PROVIDE A GOVERNOR ACCESS DOOR OF SIZE AND LOCATION PER KONE FINAL LAYOUT DRAWINGS. THE ACCESS DOOR SHALL BE SECURED AGAINST UNAUTHORIZED ACCESS.
- 16. PROVIDE A SUITABLE WORKING ENVIRONMENT INCLUDING ADEQUATE ACCESS TO THE BUILDING, PROPER LIGHTING IN ALL AREAS, CLEAN AND SAFE STORAGE ADJACENT TO THE HOISTWAY, AND SUFFICIENT ON-SITE REFUSE CONTAINERS FOR THE DISPOSAL OF ELEVATOR PACKING MATERIALS. 17. THIS DRAWING MUST BE REVIEWED AND APPROVED BY A LICENCED PROFESSIONAL TO ENSURE COMPLIANCE WITH LOCAL BUILDING CODES.
- 18. THESE DRAWINGS ARE FOR INFORMATION PURPOSES ONLY AND MUST NOT BE USED FOR CONSTRUCTION PURPOSES. FULLY DETAILED CONSTRUCTION DRAWINGS ARE AVAILABLE FROM THE PRODUCT MANUFACTURER.



R	BUILDING (PROJECT NAME)	LOCATION
	ARCHITECT	OWNER
	ENGINEER	DATE
	DRAWING#	SHEET 1/1

SHEET NUMBER

ELEVATOR PLAN DETAILS

SCALE AS SHOWN knowledge conform to applicable state ar the local building codes. 7911 EXP. DATE: 1.31.2014

AT MACHINE SECTION A-A

PREPARATORY WORK BY OTHERS: THE CUSTOMER OR CUSTOMER'S CONTRACTOR, SHALL BE RESPONSIBLE FOR THE FOLLOWING CONDITIONS PRIOR TO THE COMMENCEMENT OF WORK AT NO COST TO KONE, INC LOCAL CODES SHALL PREVAIL WHEN APPLICABLE

ELEVATION IN HOISTWAY LOOKING

SCALE: NOT TO SCALE

DRAWING GENERATED USING PARAMETRX TECHNOLOGY

BY KONE

Tchen Architects

1908 ANDERSON MILL, #325 AUSTIN, TEXAS 78726

> 512.351.1801 512.870.9427 (FAX)

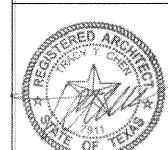
tchen@tchenarch.com

website:www.tchenarch.con

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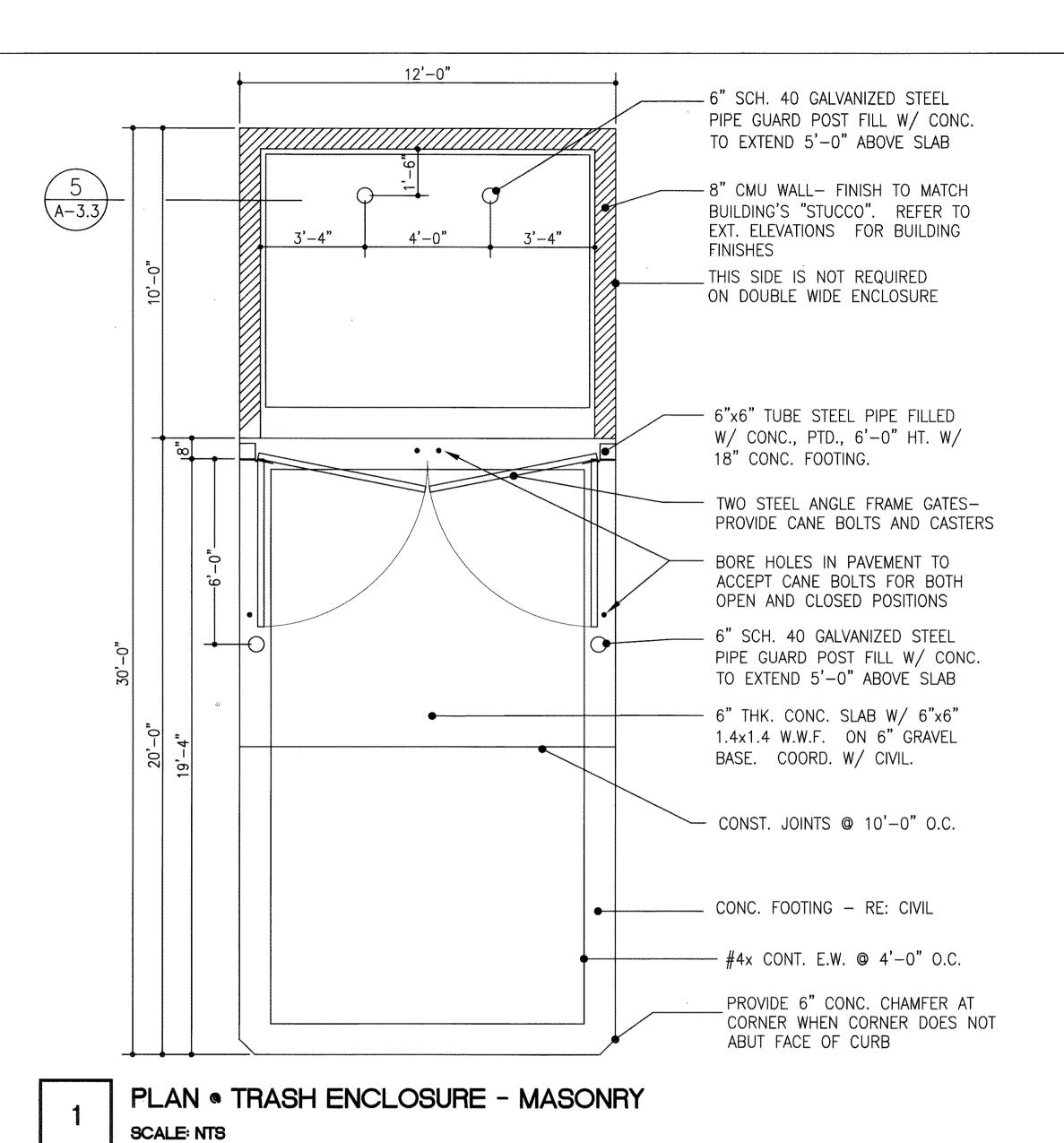
REVISIONS 03.29.2013

I hereby certify that I am a licensed architec in the State of Texas, and that these plans have been prepared by me, or under my direct supervision, and to the best of my



CENTER LOOP 1604 RETAIL

A-3.3



DUMPSTER NOTES: 1. VERIFY ALL PAVING NOTES & DETAILS W/ CIVIL DWGS. AND SOILS 2. VERIFY DUMPSTER SIZE & TYPE WITH LOCAL DISTRIBUOTR PRIOR TO CONSTRUCTION. 3. CONTRACTOR SHALL VERIFY TRASH ENCLOSURE APPROACH APRON IS INSTALLED IN ACCORDANCE WITH THE MOST CURRENT SOIL REPORT. IN CASE OF CONFLICT BETWEEN THE REPORT AND THESE DRAWINGS THE MOST STRINGENT REQUIREMENTS SHALL BE -1 1/2" CORROGATED MTL. DECKING ATTACHED TO 4"x2"x1/4" STEEL ANGLE FRAME (GRIND SMOOTH ALL WELDS TYP.) PAINT BUILDING FIELD COLOR. 2"x2"x1/4" STL. ANGLE BRACING A - 3.3AT INSIDE OF GATE WELDED TO FRAME & METAL DECKING -6" \times 6" \times 6" \times 6" TALL CONC. FILLED STL. DOOR POST - STEEL LATCH AS SELECTED CASTER (6) EXTRA HEAVY DUTY STEEL HINGES WELDED TO TUBE STL. DOOR POST STANLEY #1010 STEEL 18" CUT SLOT IN ANGLE LEG AND WELD CANE BOLT. W/ STL. TO INTERSECTING ANGLE SLEEVES SET IN PAVEMENT AT OPEN AND CLOSED

FRONT

ELEVATION • TRASH ENCLOSURE GATE - MASONRY SCALE: NTS

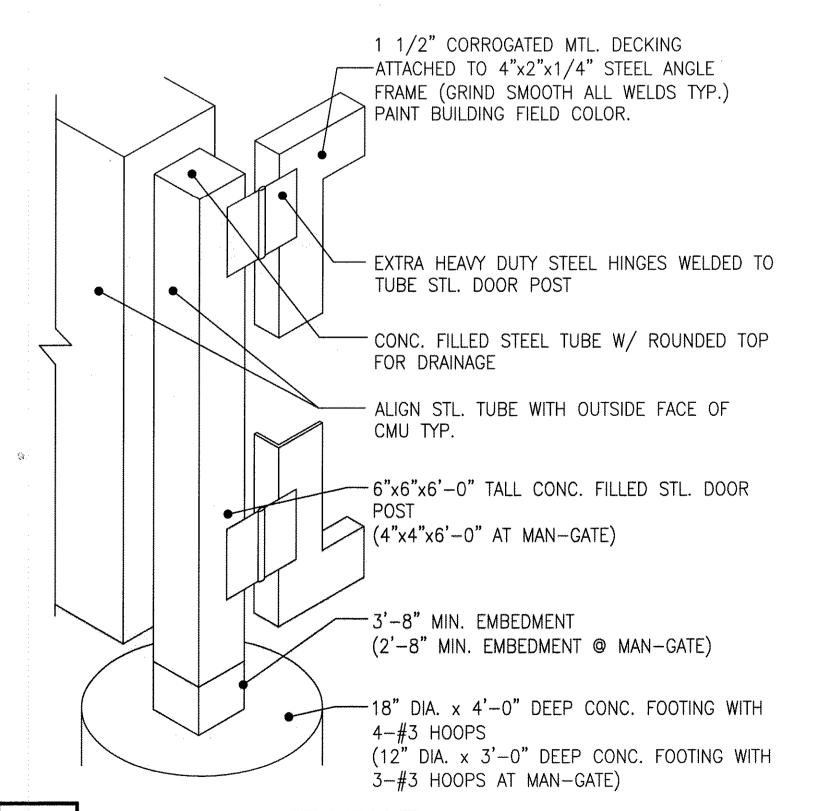
- HOLD DECKING 1/4" MIN. FROM

STL. ANGLE FOR DRAINAGE

REAR

18" STEEL CANE BOLT CANE BOLT LATCH WELDED TO DOOR FRAME ___2"x2"x1/4" STL. ANGLE BRACING AT INSIDE OF GATE WELDED TO FRAME & METAL DECKING -1 1/2" CORROGATED MTL. DECKING ATTACHED TO 4"x2"x1/4" STEEL ANGLE FRAME (GRIND SMOOTH ALL WELDS TYP.) PAINT BUILDING FIELD COLOR. METAL WASHER WELDED TO CANE BOLT - HEAVY DUTY CASTER -EXTERIOR GRADE PROVIDE CASTER ON DOORS 6'-0" WIDE OR WIDER. REFER TO PLAN FOR ENCLOSURE & DOOR SIZES

> DETAIL . CANE BOLT SCALE: NTS



DETAIL . GATE HINGE SCALE: NTS

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GENERAL NOTES:

1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABL
LOCAL, STATE, AND NATIONAL CODES AND ORDINANCE AND ALL AUTHOI
HAVING JURISDICTION, CITY OF SAN ANTONIO: 2012 IBC, IFGC 2012.

2. TCHEN ARCHITECTS SHALL NOT BE RESPONSIBLE OR LIABLE FOR ANY BCONSTRUCTION MEANS, METHODS, ETHNOLOGIES, SEQUENCES OR PROFINE OR SAFETY, PRECAUTIONS AND PROGRAMS RELATED TO THIS PROFINED NOT SAHLL BE LIABLE OR RESPONSIBLE FOR THE QUALITY OF WORKMAPPER ONT SCALE DRAWINGS FOR ANY DIMENSIONS, CONTACT ARCHITECT IMMEDIATELY FOR ANY DISCREPANCIES ON THE PLANS AND EXISTING OF SAN ANTONIO FOR CONSTRUCTION.

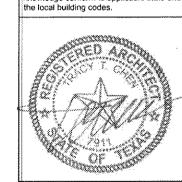
ISSUE DATE 01.10.2013 DRAWN BY

CHECKED BY

POSITION. ONE PER GATE

SCALE AS SHOWN REVISIONS

direct supervision, and to the best of my knowledge conform to applicable state and the local building codes.



EXP. DATE: 1.31.2014

SHEET NUMBER

A-3.4

SCALE: NTS

SECTION • MASONRY

_RE: STRUCTURAL, CIVIL & SOILS REPORTS 1'-6"---

#4 REBAR CONT.

-8" CMU BLOCK

#4 REBAR CONNECT TO

#4 "L" HOOK BAR @

6" REINF. CONC. SLAB

CIVIL PLANS FOR ACTUAL

ON GRADE. REFER TO

GRADES AND SLOPES

__8'_0" O.C.

ËVERY CORNER & EVERY

HOOK BAR, OVERLAPPING

® BOND BEAM.