

NORTH LOOP RETAIL CENTER

226 & 238 TEXAS LOOP 1604
SAN ANTONIO, TEXAS 78221

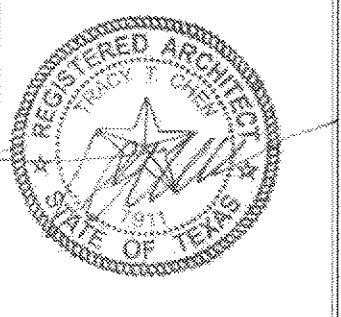
Tchen Architects
11908 ANDERSON MILL, #325
AUSTIN, TEXAS 78726
512.351.1801
512.870.9427 (FAX)
tchen@tchenarch.com
website:www.tchenarch.com

GENERAL NOTES:
1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND NATIONAL CODES AND ORDINANCES AND ALL AUTHORITIES.
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ISSUE DATE 01.10.2013

DRAWN BY
CHECKED BY
SCALE AS SHOWN
REVISIONS

I hereby certify that I am a licensed architect in the State of Texas, and that these plans have been prepared by me, or under my direct supervision, and to the best of my knowledge conform to applicable state and the local building codes.



LICENSE NUMBER 7911
EXP. DATE 1.31.2014

PROJECT NAME
NORTH LOOP RETAIL CENTER
PROJECT ADDRESS
226 & 238 TEXAS LOOP 1604
SAN ANTONIO, TX 78232
SHEET TITLE
COVER SHEET

SHEET NUMBER

A-0.0

BUILDING SYSTEMS:

- CIVIL ENGINEERING: PER CIVIL ENGINEER'S PLANS
- STRUCTURAL FOUNDATION: PER STRUCTURAL PLANS.
DESIGNED TO SOIL TEST RESULT RECOMMENDATIONS.
- STRUCTURAL FRAMING: PER STRUCTURAL PLANS.
CONSTRUCTION TYPE: II-B, NON COMBUSTIBAL.
- EXTERIOR WALL MATERIAL: PER ARCHITECTURAL PLANS
LIGHT GAGE METAL STUDS FRAMING WITH R-19 INSULATION AND THERMO-PLY ENERGY SAVING
EXTERIOR SHEATHING MATERIAL AND EXTERIOR STUCCO FINISH.
WALKWAY FASCIA TO BE PANELS MADE WITH FIBER-CEMENT BOARDS.
- EXTERIOR GLAZING MATERIAL: PER ARCHITECTURAL PLANS
LOW-E INSULATED GLASS, TEMPERED.
BUTT-GLAZED SYSTEM WITHOUT VERTICAL ALUM. MULLIONS.
FINISH TO BE SELECTED BY OWNER AND ARCHITECT.
- DOORS: PER ARCHITECTURAL PLANS.
STORE ENTRY DOORS TO BE (2) 3'-0" X 10'-0" DOORS.
OTHERS MIN. 3'X7' 20-MIN. STEEL DOORS FOR LEASE SPACES SERVICE DOORS..
- CEILING SYSTEM: PER ARCHITECTURAL PLANS.
PROVIDE ACOUSTICAL SUSPENDED CEILING SYSTEM FOR FUTURE TENANTS.
- ROOFING SYSTEM: PER ARCHITECTURAL PLANS.
EQ. TO TPO SINGLE PLY SYSTEM OVER R-32 RIGID INSULATION PER 2012 IBC CODE.
- MECHANICAL SYSTEM: PER MECHANICAL ENGINEERING PLANS, PER 2012 IMC.
INDIVIDUAL ROOF TOP UNITS BASED ON LEASE SPACE REQUIREMENTS.
- ELECTRICAL SYSTEM: PER ELECTRICAL ENGINEERING PLANS, PER 2011 NEC.
INDIVIDUAL METERED BASED ON LEASE SPACE REQUIREMENTS.
EXPLORE USAGE OF SOLAR PANEL SUPPLEMENTAL SYSTEMS.
- PLUMBING SYSTEM: PER PLUMBING ENGINEERING PLANS, PER 2012 IPC.
INDIVIDUAL METERED BASED ON LEASE SPACE REQUIREMENTS.
EXPLORE USAGE OF SOLAR PANEL SUPPLEMENTAL SYSTEMS.
- AUTOMATIC SPRINKLER SYSTEM: PER FIRE SPRINKLER ENGINEERING PLANS.
MEETS FIRE PROTECTION CODE REQUIREMENTS, PER 2003 IFC.
MUST BE APPROVED BY THE FIRE DEPARTMENT WITH A SEPARATE PERMIT.
- ADA COMPLIANCES: PER ARCHITECTURAL PLANS. TDLR REQUIRED.
PROVIDE ACCESSIBLE ROUTE FOR PEDESTRIANS FROM CITY SIDEWALK TO THE STOREFRONT.
PROVIDE ACCESSIBLE MEANS OF EGRESS, ALARM SYSTEM, PARKING SPACES AND ALL OTHER REQUIREMENTS PER CODE.

FIRE DEPARTMENT NOTES:

- ADDRESS NUMBERS AT LEAST 8" HIGH MUST BE VISIBLE FROM THE STREET. THE ADDRESS NUMBERS MUST BE OF A COLOR THAT CONTRASTS WITH THE BACKGROUND AND MUST BE INSTALLED ON THE SIDE OF THE BUILDING THAT FACES THE PUBLIC STREET.
- FOR EACH TENANT SPACE, INCLUDE THE SUITE NUMBER IN 4" NUMBERS NEAR THE FRONT DOOR AND ON THE REAR DOOR.
- PROVIDE A KNOX KEY BOX. FOR ORDERING AND LOCATION INFORMATION CALL EMERGENCY PREVENTION OFFICE.
- PORTABLE FIRE EXTINGUISHERS (NOT LESS THAN 2-A: 10-B-C) MUST BE PROVIDED WITHIN 75 FEET OF ANY POINT IN THE BUILDING, MEASURED ALONG THE PATH OF TRAVEL. IFC 906.
- DUCT DETECTORS ON AIR HANDLERS REQUIRE REMOTE AUDIO/VISUAL INDICATORS IF THE DETECTORS ARE INSTALLED MORE THAN 10 FT ABOVE THE FINISHED FLOOR LEVEL, OR IF THE DETECTORS ARE INSTALLED ABOVE THE CEILING, UNLESS THE DETECTORS ARE CONNECTED TO A FIRE ALARM SYSTEM AND THE LOCATION OF THE DETECTOR IS CLEARLY SHOWN AT THE FIRE ALARM PANEL.

ADA ACCESSIBILITY GUIDELINES:

- ADA AG: 4.1.2 (5): PARKING SPACES (SEE CITY APPROVED SITE PLAN)
- ADA AG: 4.13.8: THRESHOLD AT EXIT DOORS SHALL NOT BE HIGHER THAN 1/2".
- PROVIDE MAX. SLOPE AT 2% IN ANY DIRECTION OUTSIDE OF ENTRANCE DOORS.
- SEE DETAILS ON SHEET A-0.1 FOR BATHROOM FIXTURE CLEARANCE AND MOUNTING HEIGHTS.
- PROVIDE FOR RECEPTIONIST COUNTER: 36"LX18"DX34"H. MINIMUM SIZE.

PROJECT SYNOPSIS

PROJECT NAME: NORTH LOOP RETAIL CENTER

LEGAL DESCRIPTION:

LOTS 3 & 4, BLOCK 1, N.C.B. 16329, ALLEN - 1604 SUBDIVISION AS RECORDED
IN VOL. 9546, PG 33, DEED & PLAT RECORDS OF BEXAR CO., TEXAS, LOCATED
ON LOOP 1604, CITY OF SAN ANTONIO, BEXAR COUNTY, TEXAS

ADDRESS: 226 & 238 TEXAS LOOP 1604
SAN ANTONIO, TEXAS 78221

OWNER: JAVAD BONAKCHI (210) 641.7665

ARCHITECT: TCHEN ARCHITECTS
11908 ANDERSON MILL, Ste-1026
AUSTIN, TEXAS 78726
512.351.1801

CIVIL & STRUCTURAL ENGINEER:
PROFESSIONAL STRUCIVIL ENGINEERS, INC.
12710 RESEARCH BLVD., STE-390
AUSTIN, TEXAS 78759
512.238.6422

MEP ENGINEER: ALPACA ENERGY SOLUTIONS, INC.
3532 BEE CAVES ROAD, STE-111
AUSTIN, TEXAS 78746
512.328.8999

USE AND OCCUPANCY CLASSIFICATION :
MERCANTILE GROUP M (SEC. 309)

CONSTRUCTION TYPE: 1ST FLOOR AREA: 13,538 S.F.
TYPE II-B, 4-STORY, 12,500 S.F. /FLOOR.
(INCREASE BY 200% WITH AUTOMATIC
SPRINKLER SYSTEM, TO 25,000 S.F.)

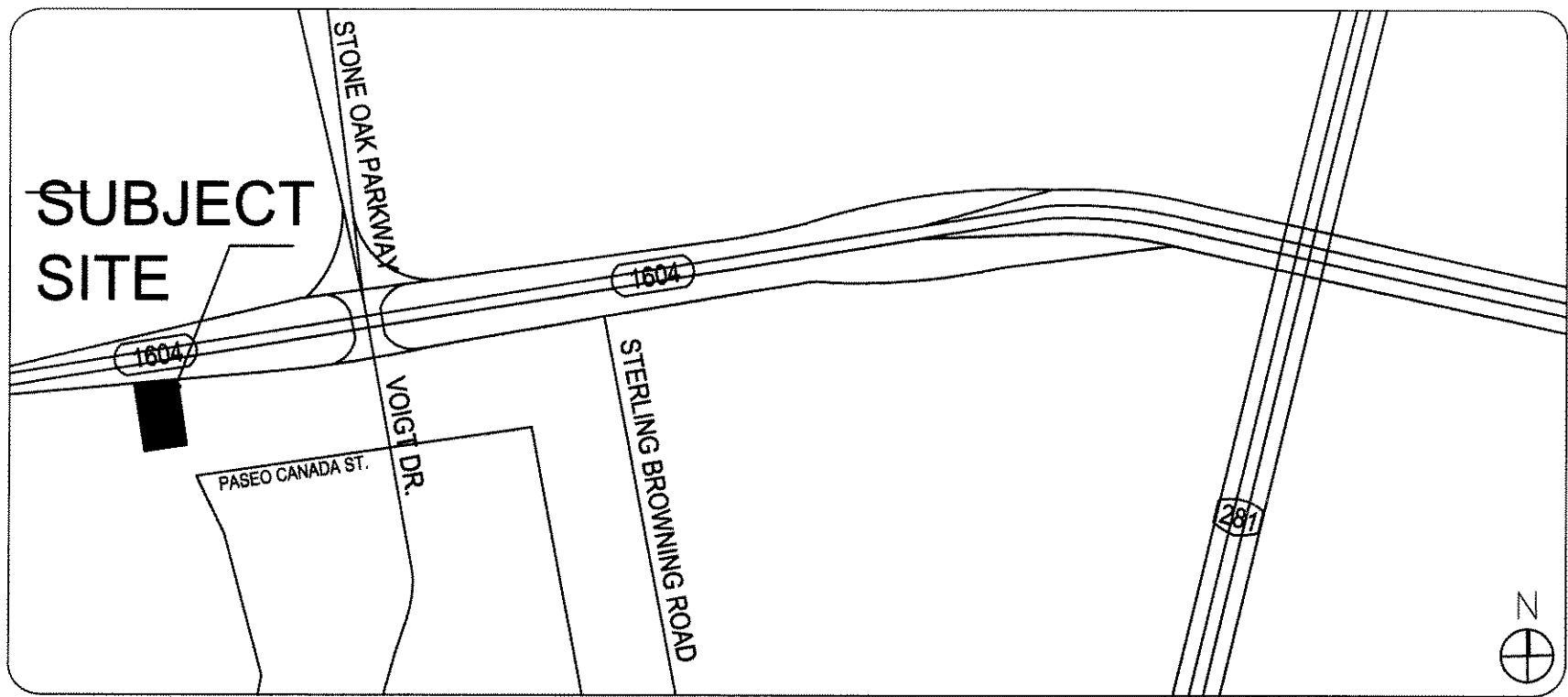
ZONING DISTRICT: C3 ERZD

BUILDING AREA TABULATION:

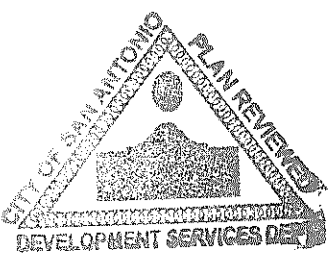
1ST FLOOR: 13,538 S.F. LEASE SPACE,
672 S.F. STAIRWAYS

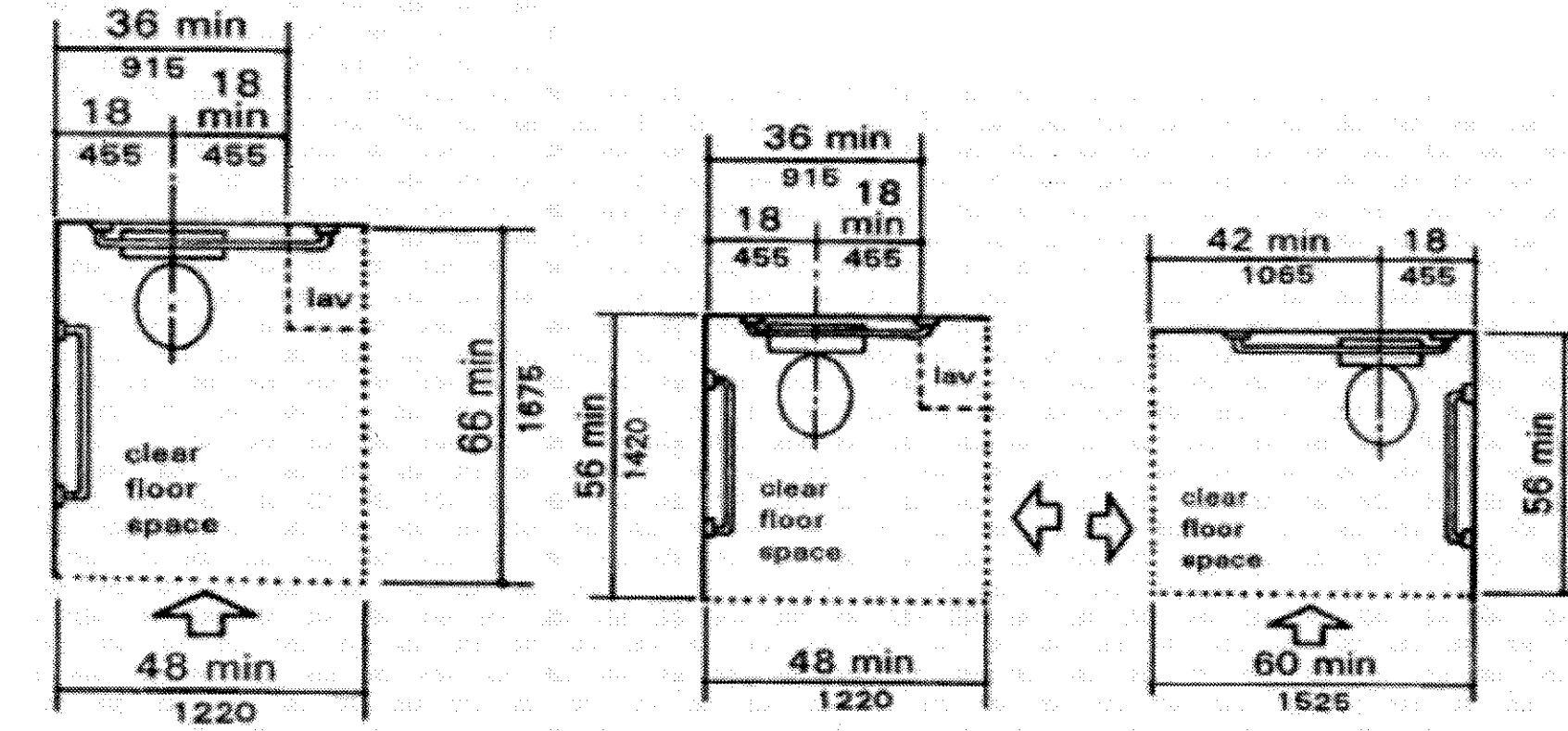
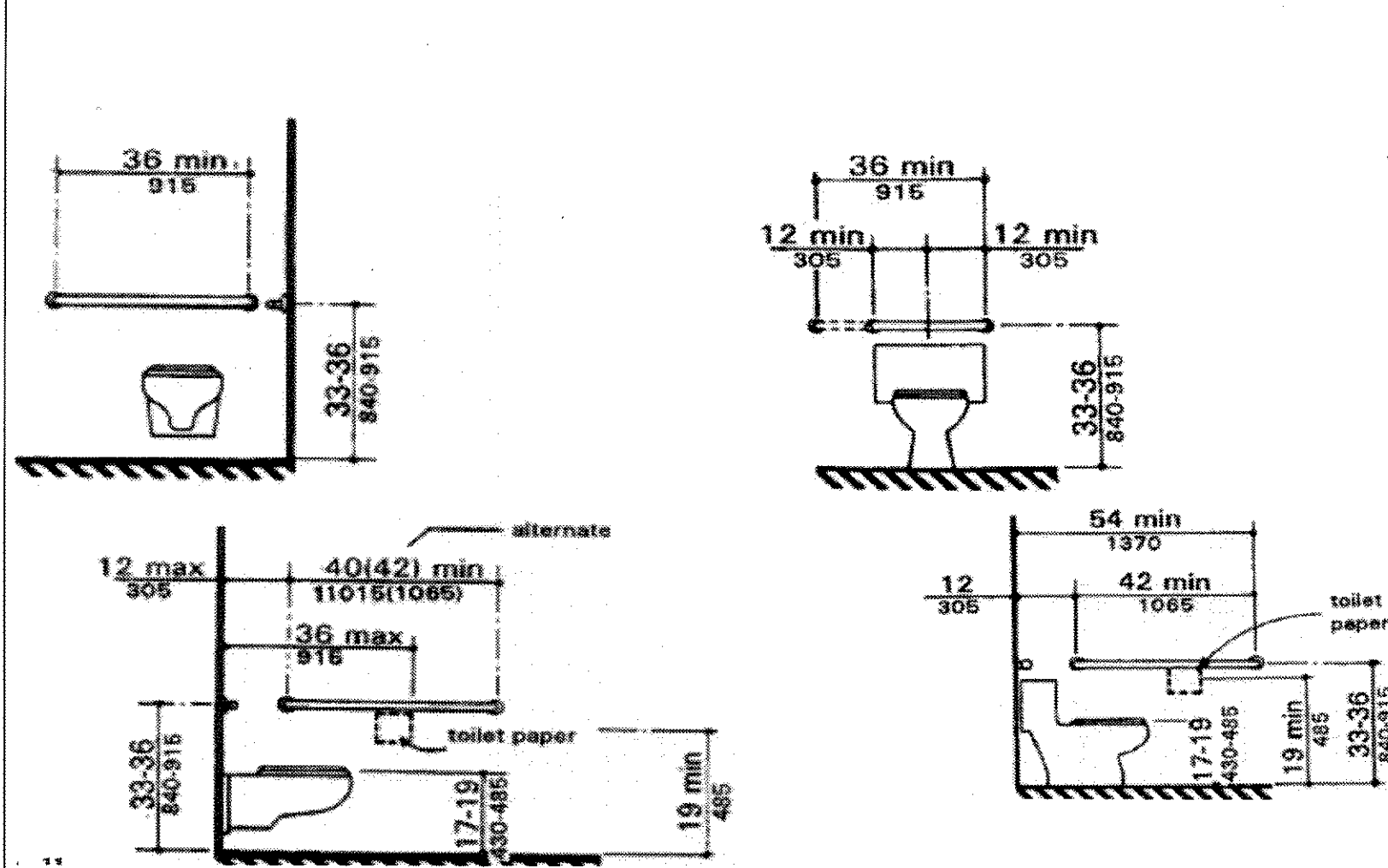
2ND FLOOR: 13,888 S.F. LEASE SPACE,
5,682 S.F. WALKWAY AREA

TOTAL LEASE AREA: 27,426 S.F.

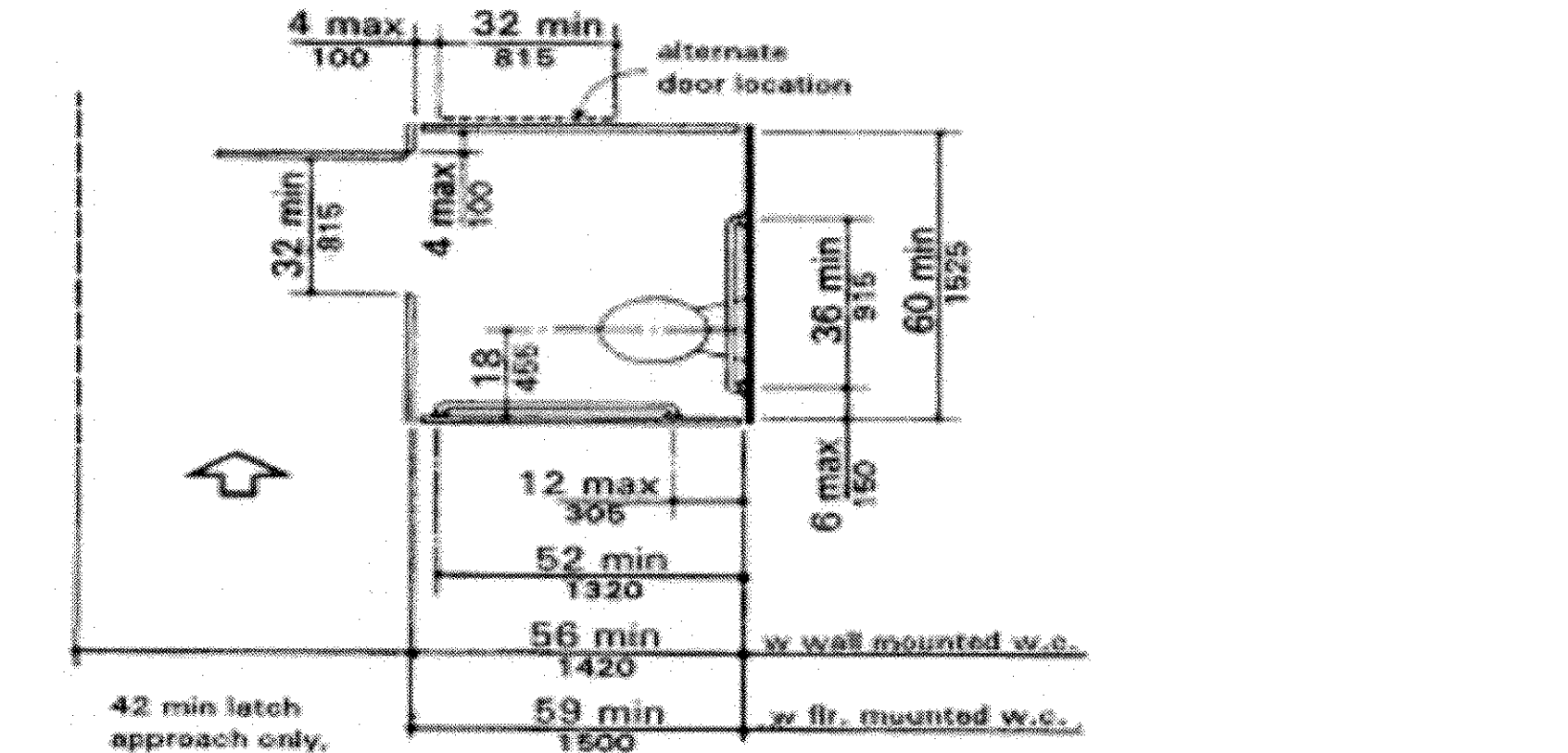


VICINITY MAP (N.T.S.)

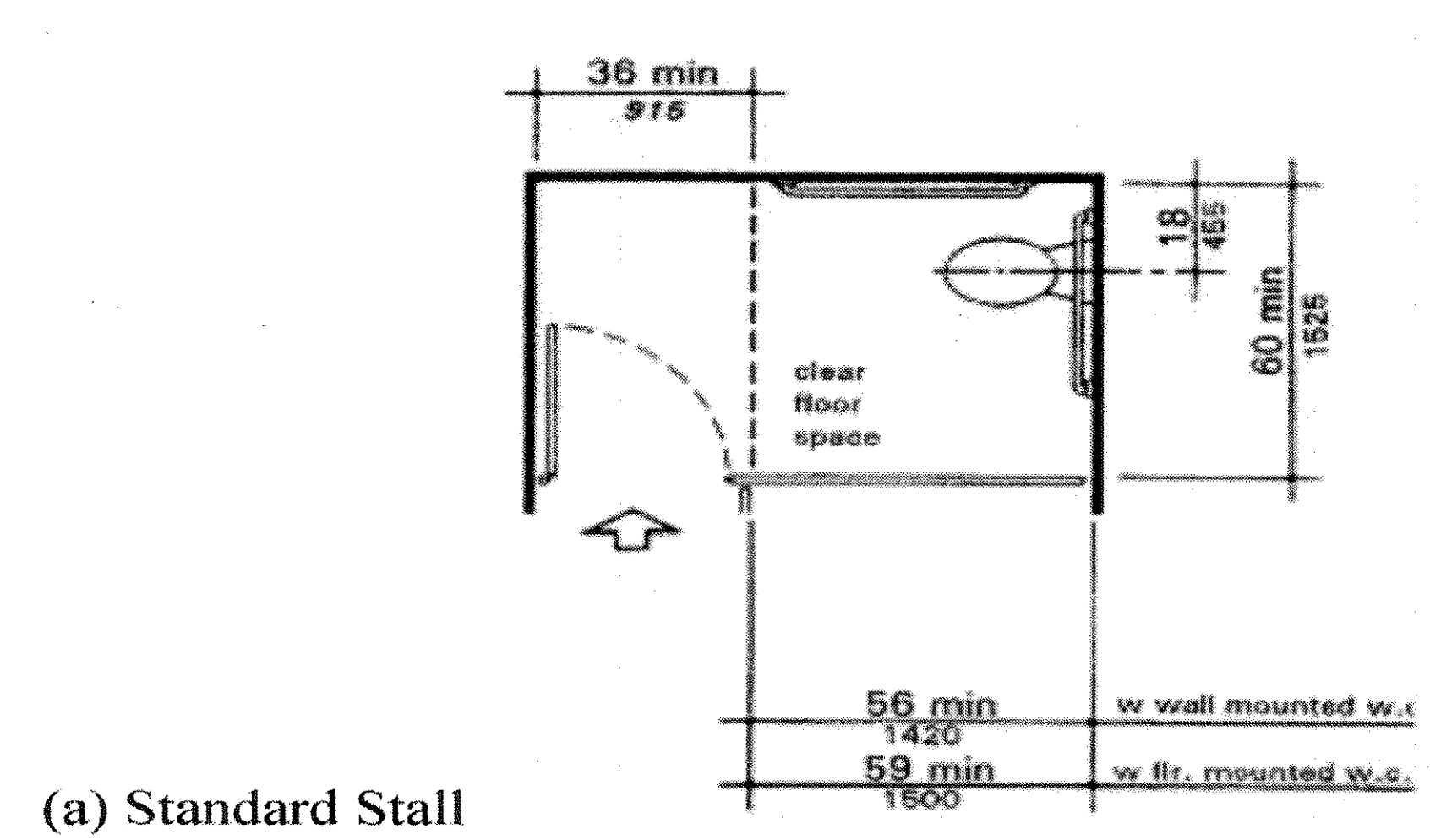




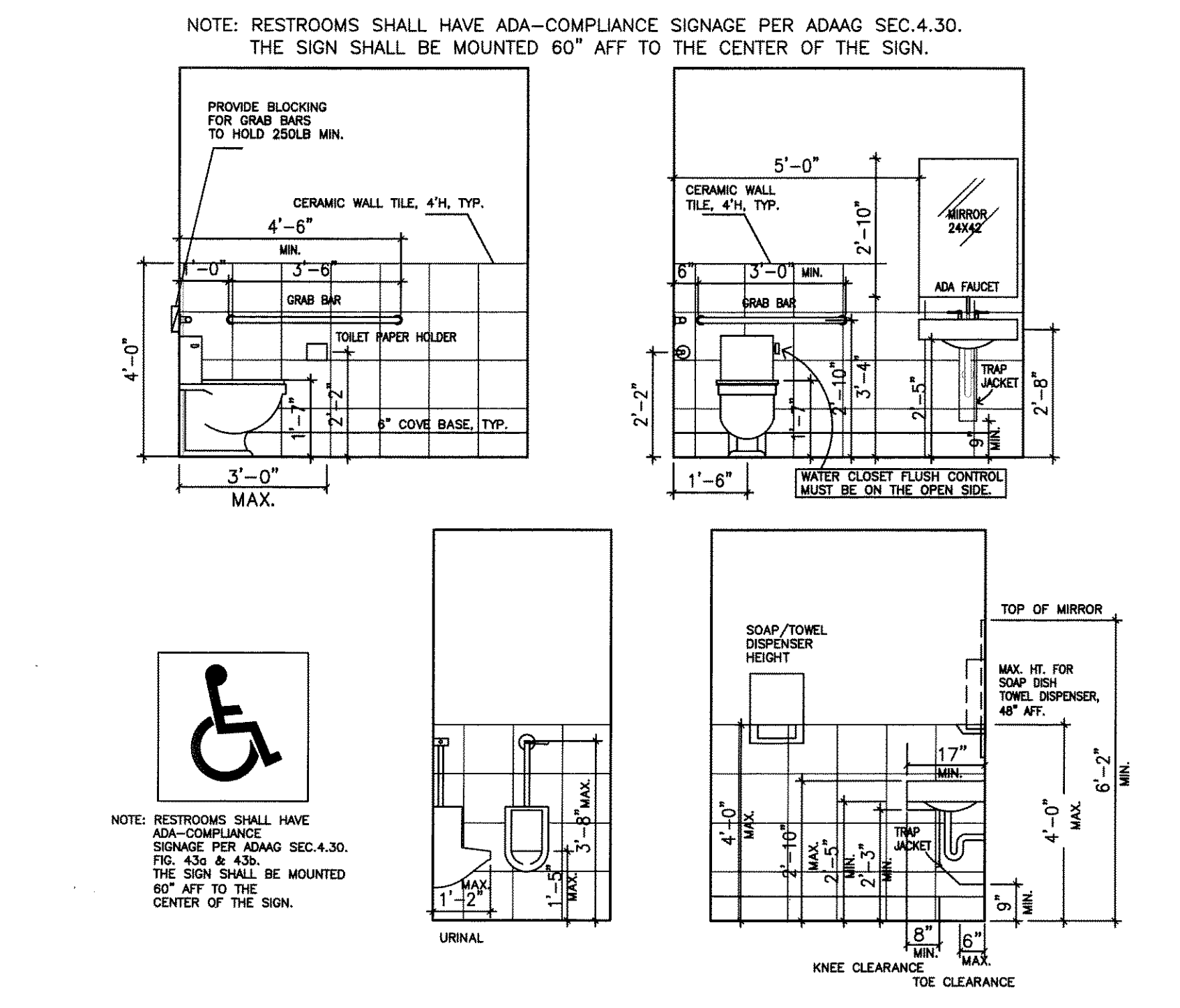
Floor Space at Water Closets



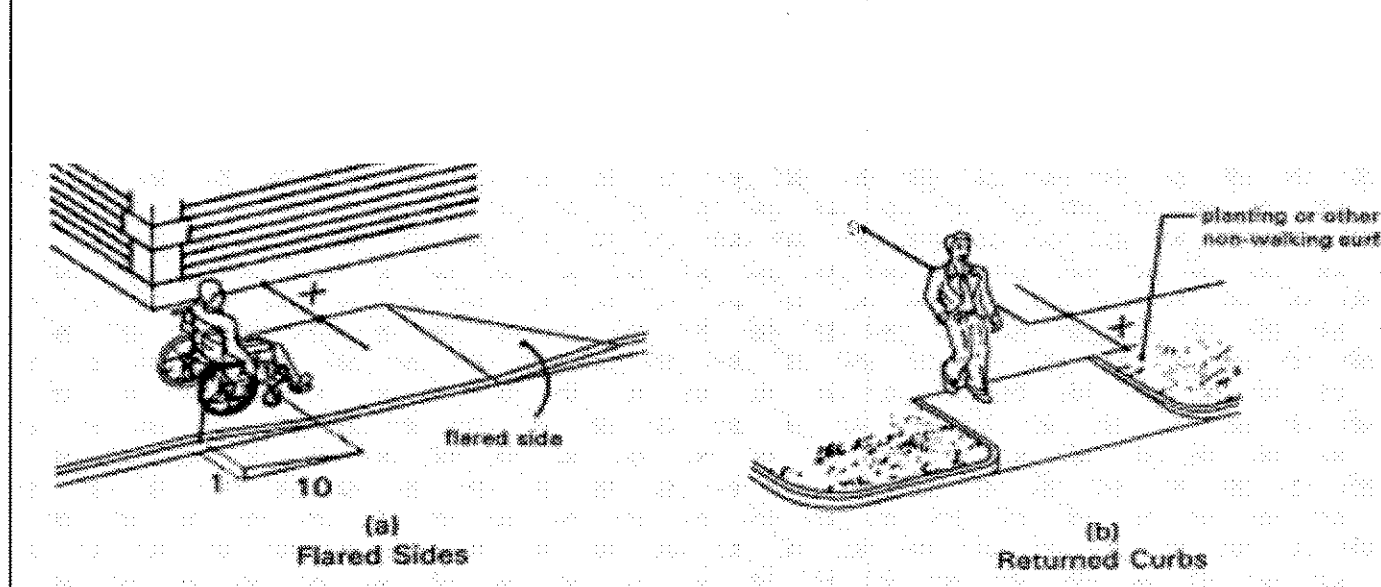
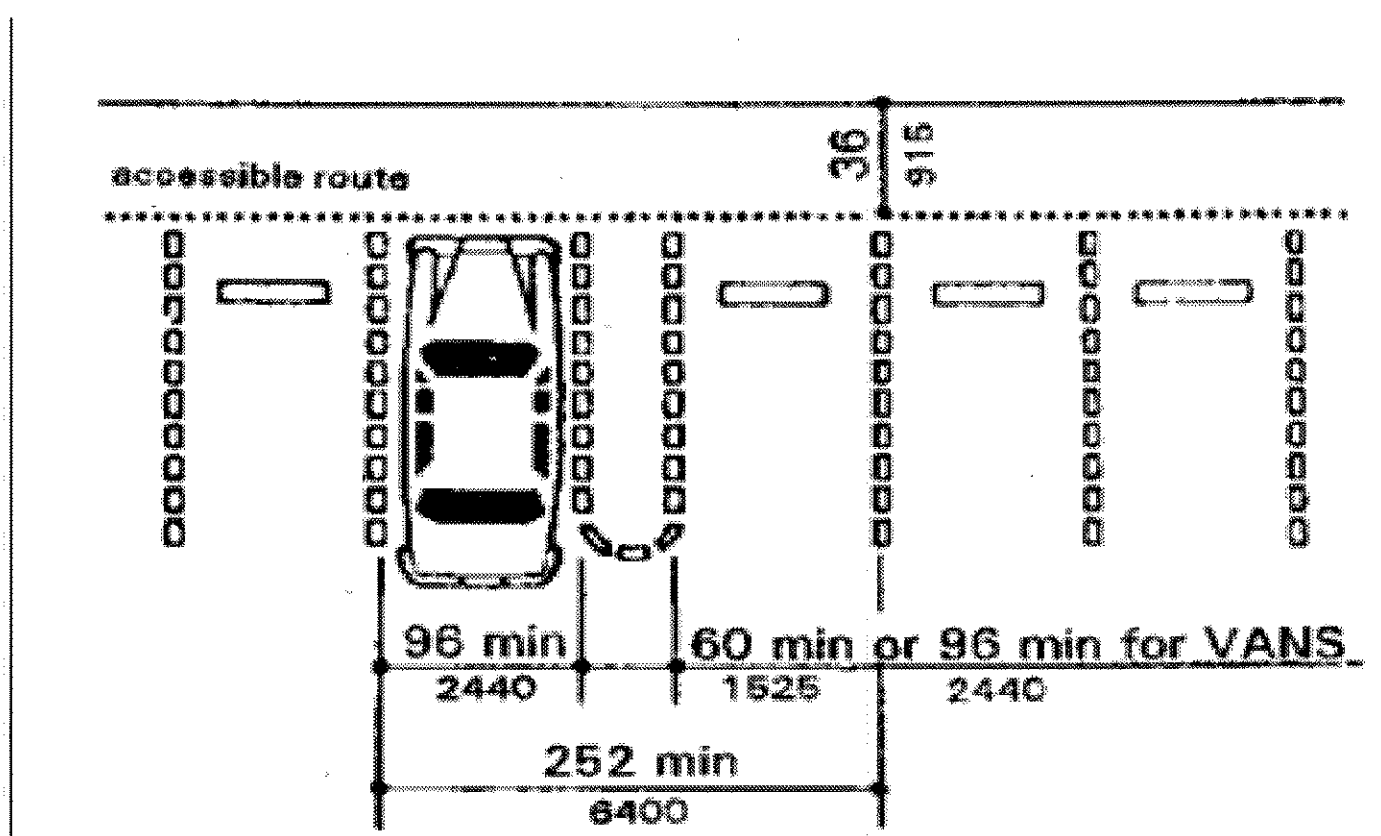
(a) Standard Stall



(a) Standard Stall



PLUMBING FIXTURE MOUNTING STANDARDS



Curb Ramps

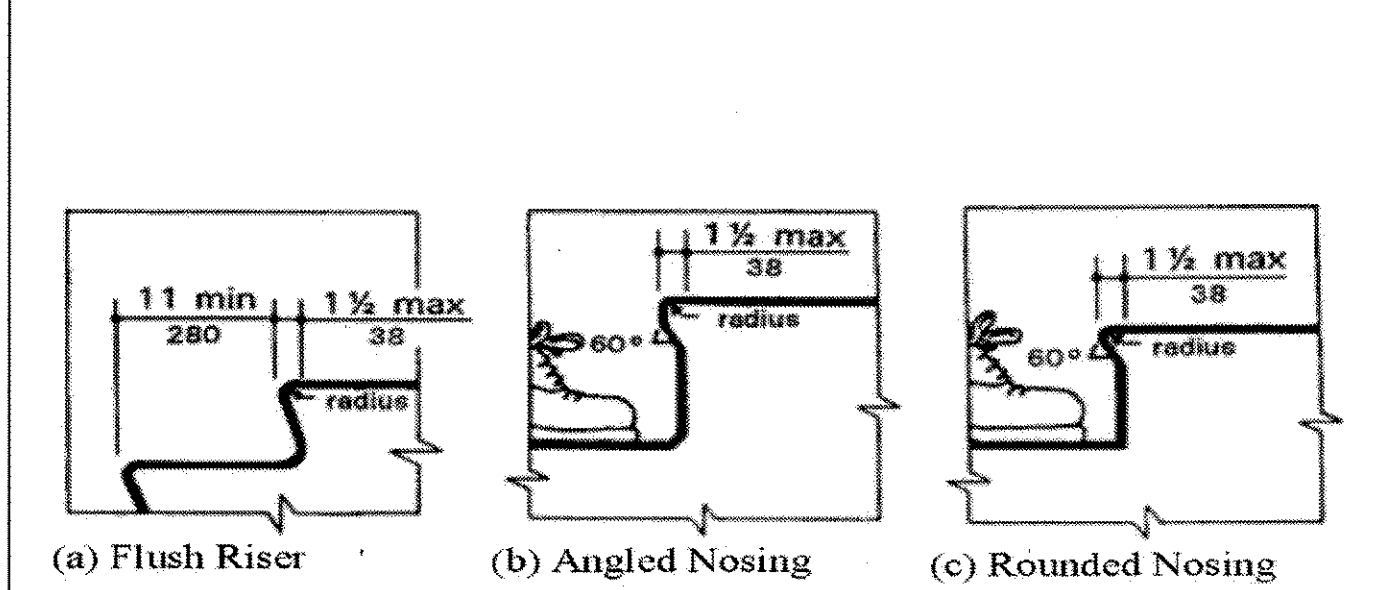
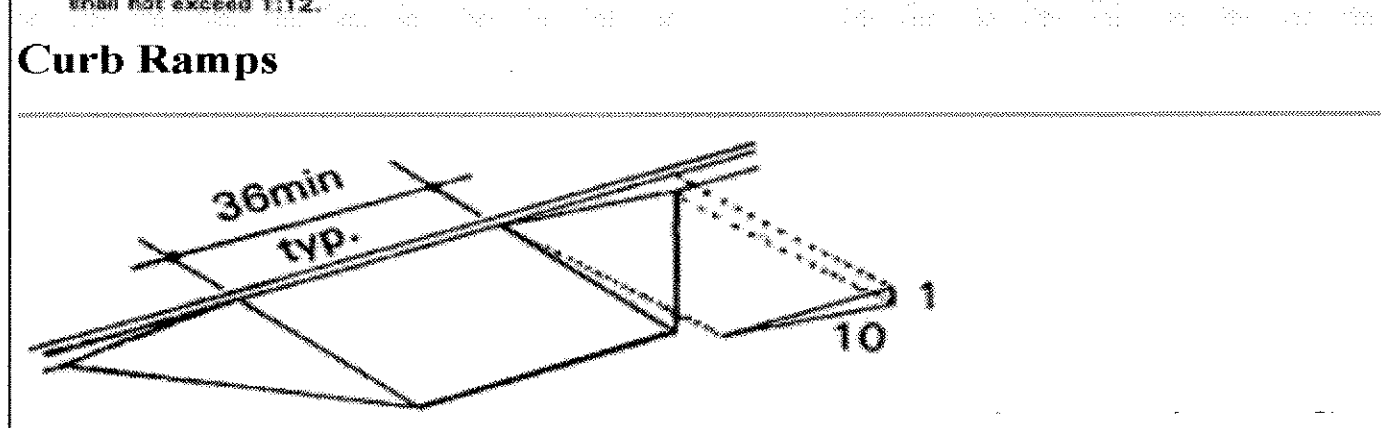


Fig. 18 Useable Tread Width and Examples of Acceptable Nosings

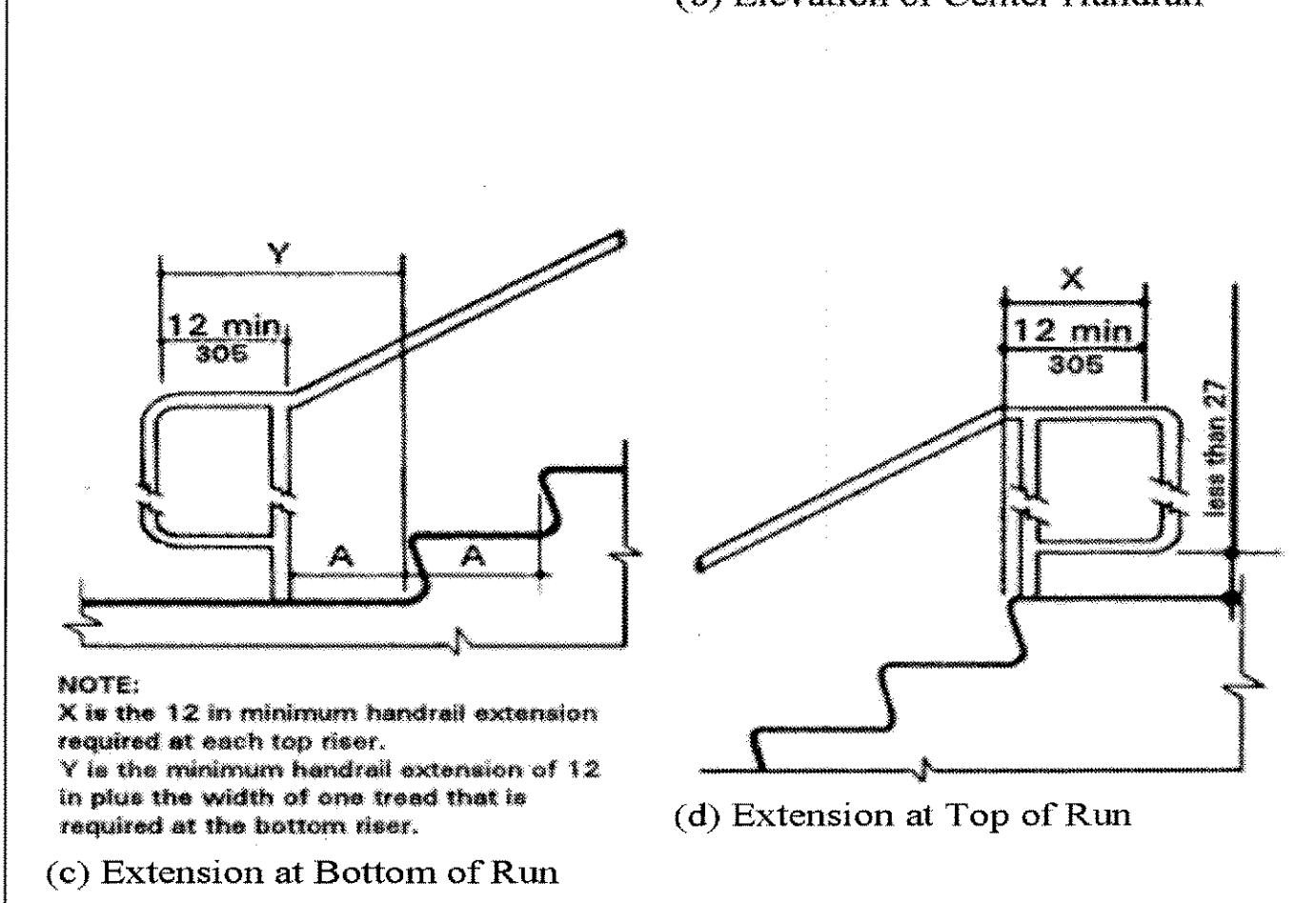
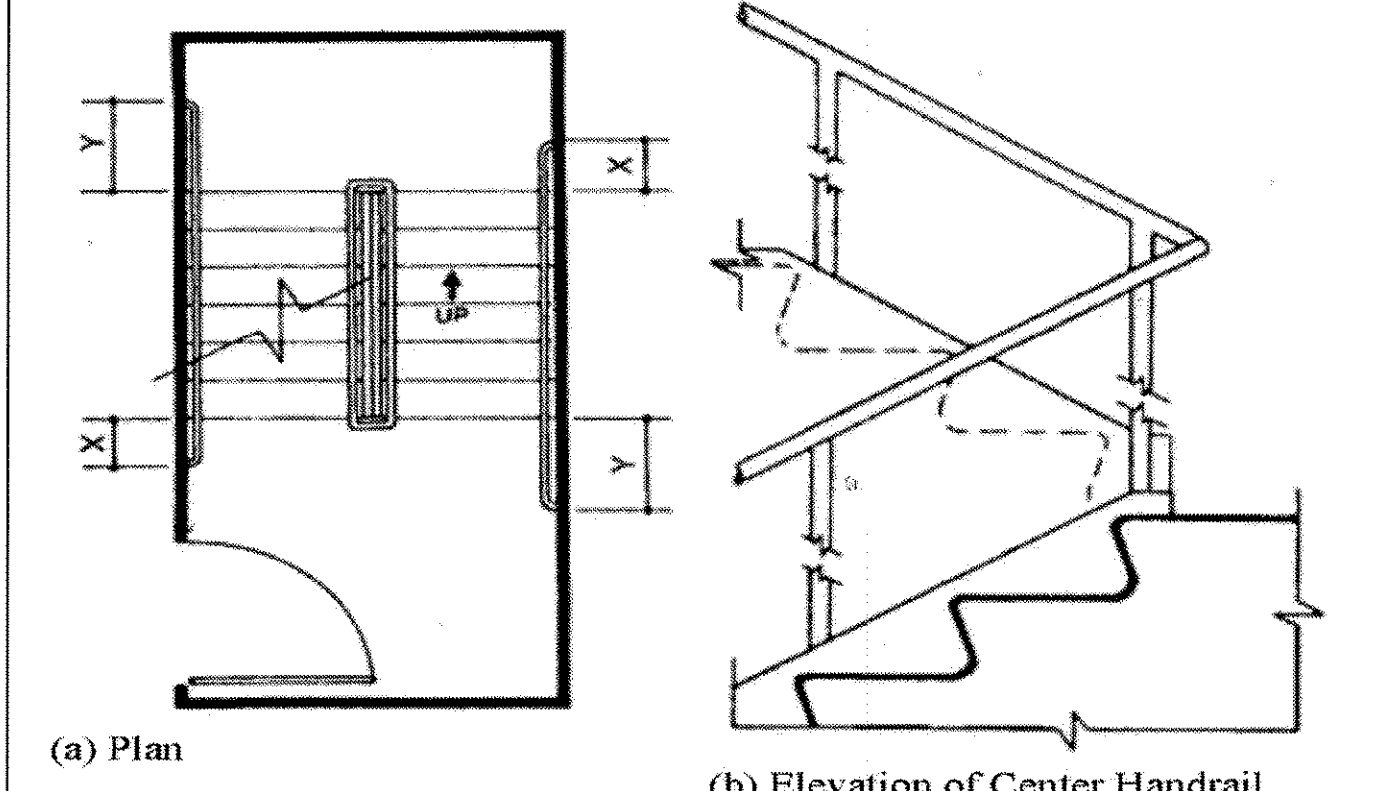
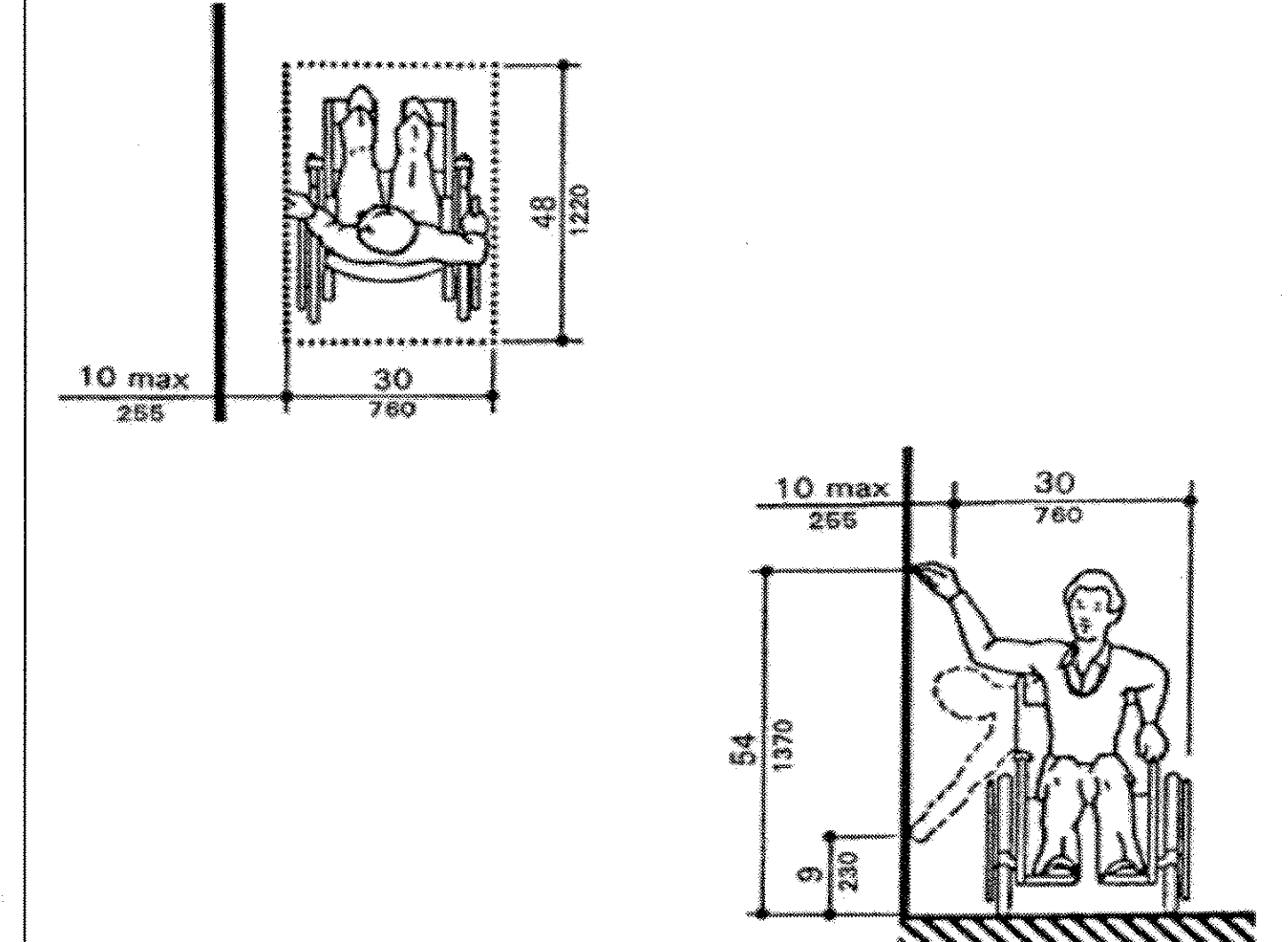
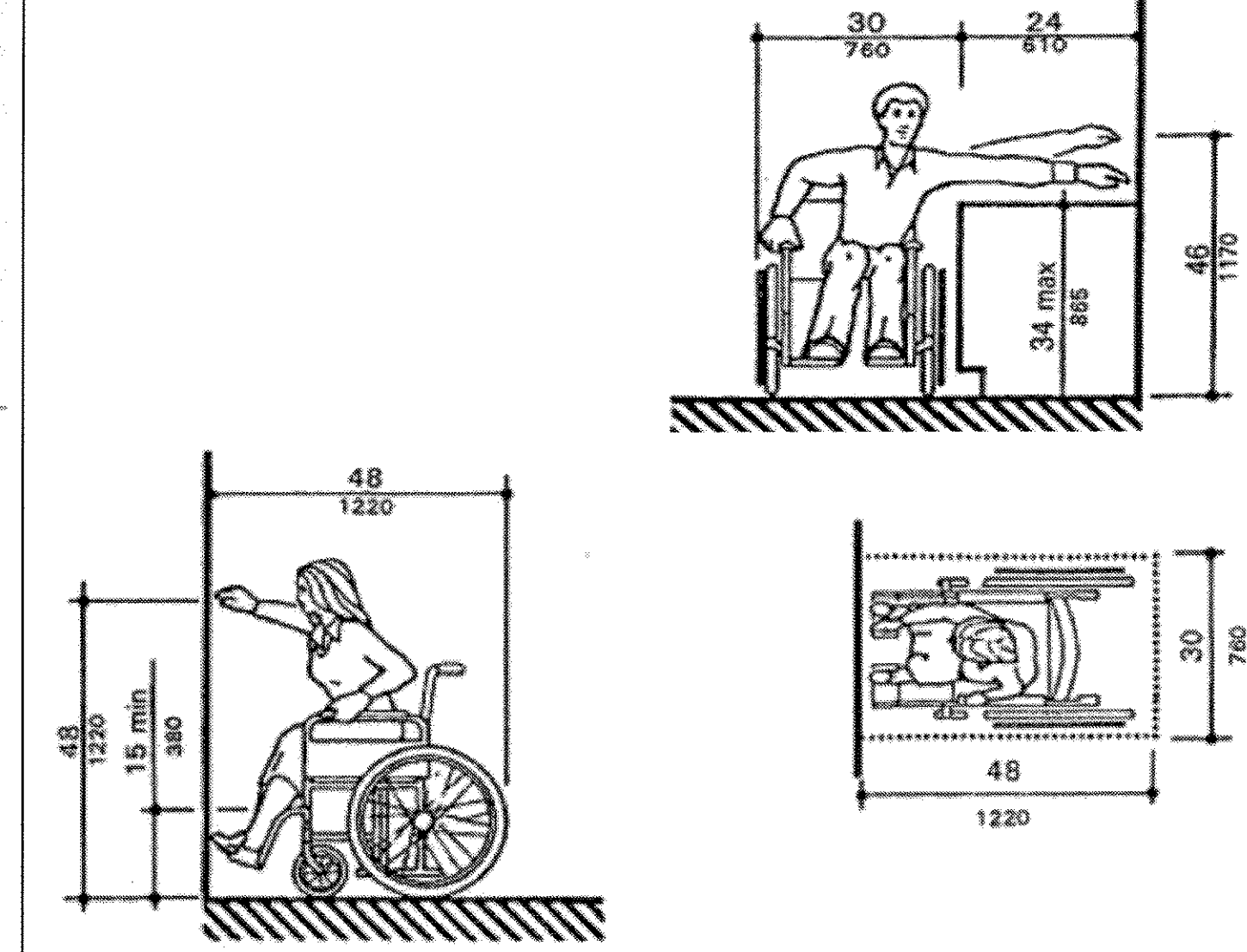


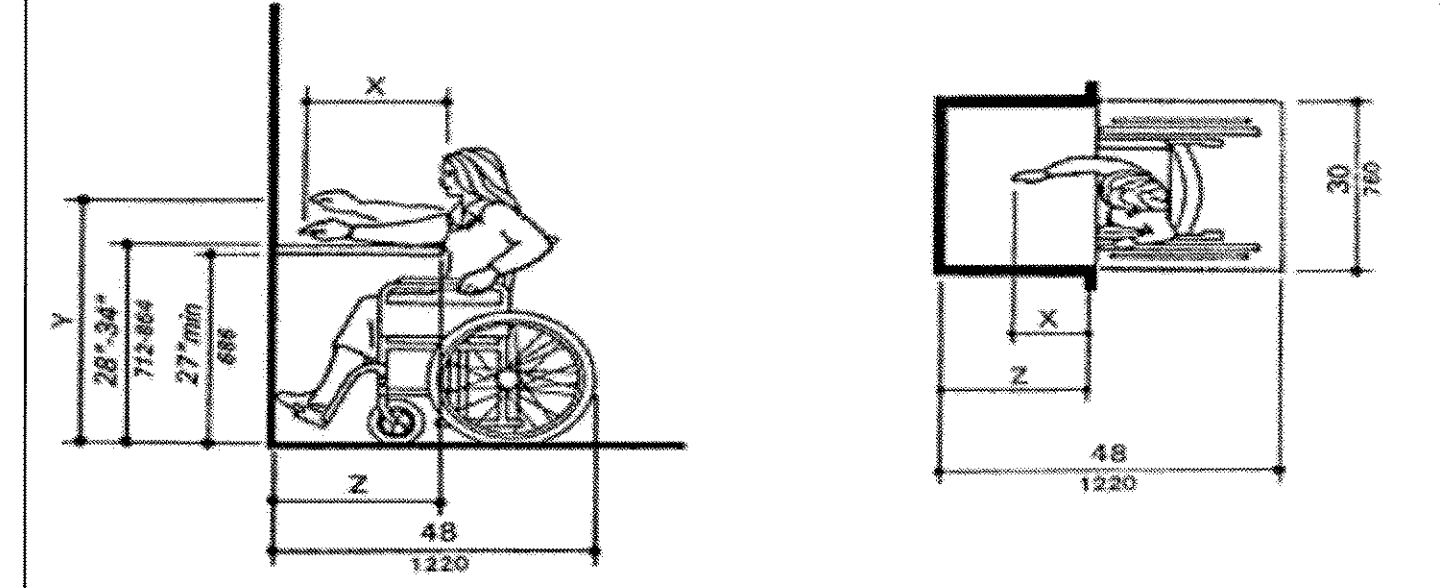
Fig. 19 Stair Handrails



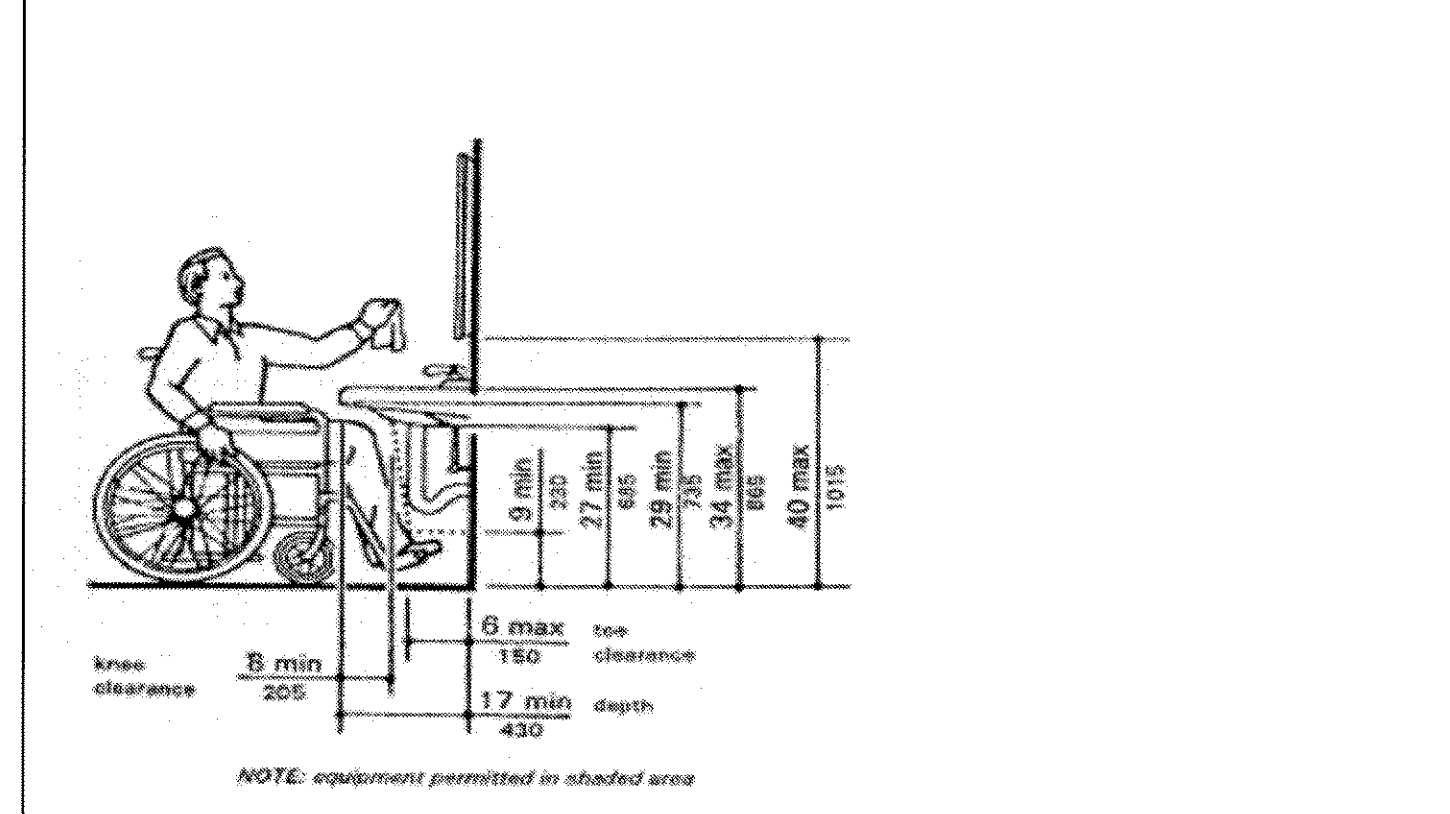
(a) Clear Floor Space Parallel Approach



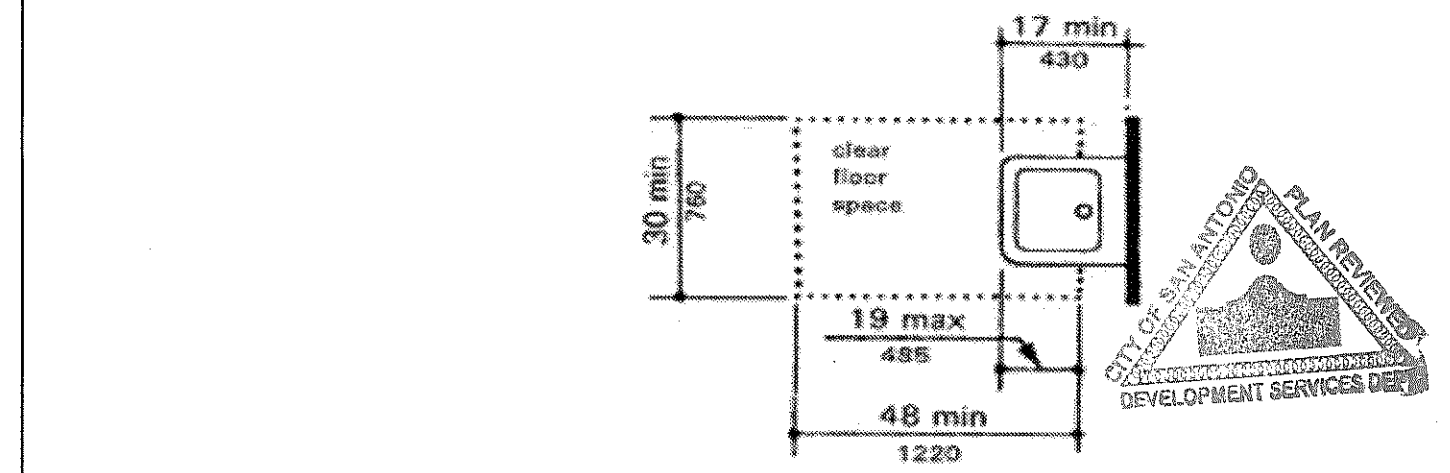
(a) High Forward Reach Limit



NOTE: x shall be ≤ 25 in (635 mm); z shall be ≥ x. When x < 20 in (510 mm), then y shall be 48 in (1220 mm) maximum. When x is 20 to 25 in (510 to 635 mm), then y shall be 44 in (1120 mm) maximum.



NOTE: equipment permitted in shaded area



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11908 ANDERSON MILL, #1026
AUSTIN, TEXAS 78726
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ISSUE DATE: 01.10.2013

DRAWN BY: _____

CHECKED BY: _____

SCALE: AS SHOWN

REVISIONS: _____

I hereby certify that I am a licensed architect in the State of Texas, and that these plans have been prepared by me, or under my direct supervision, and to the best of my knowledge conform to applicable state and the local building codes.

REGISTERED ARCHITECT
STATE OF TEXAS

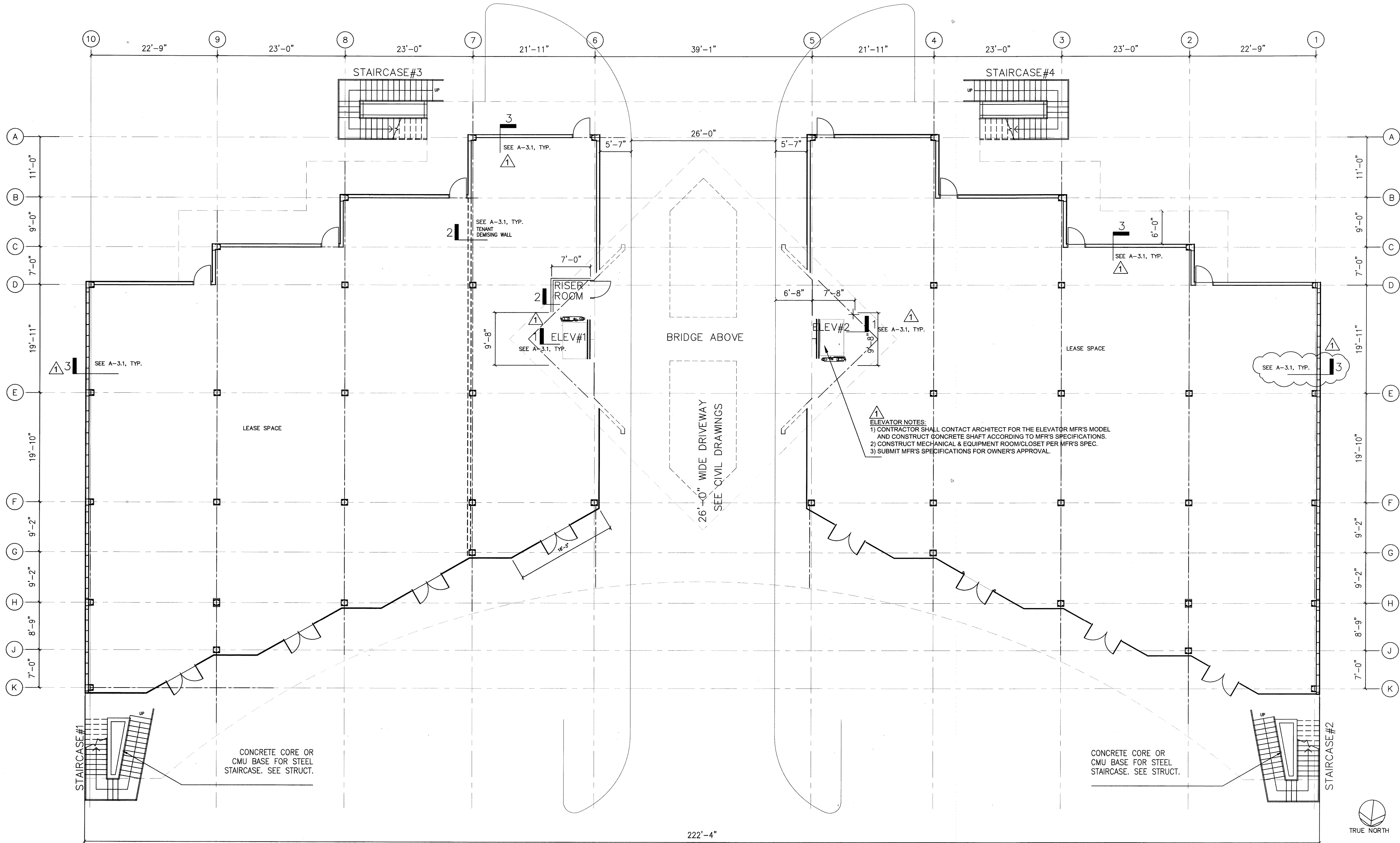
LICENSE NUMBER: 7911
EXP. DATE: 1.31.2014

PROJECT NAME: NORTH LOOP RETAIL CENTER

PROJECT ADDRESS: 226 & 238 TEXAS LOOP 1604
SAN ANTONIO, TX 78232

SHEET TITLE: ADA / TAS STANDARD DETAILS

SHEET NUMBER: A-0.1



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SCALE AS SHOWN

REVISIONS

03.29.2013

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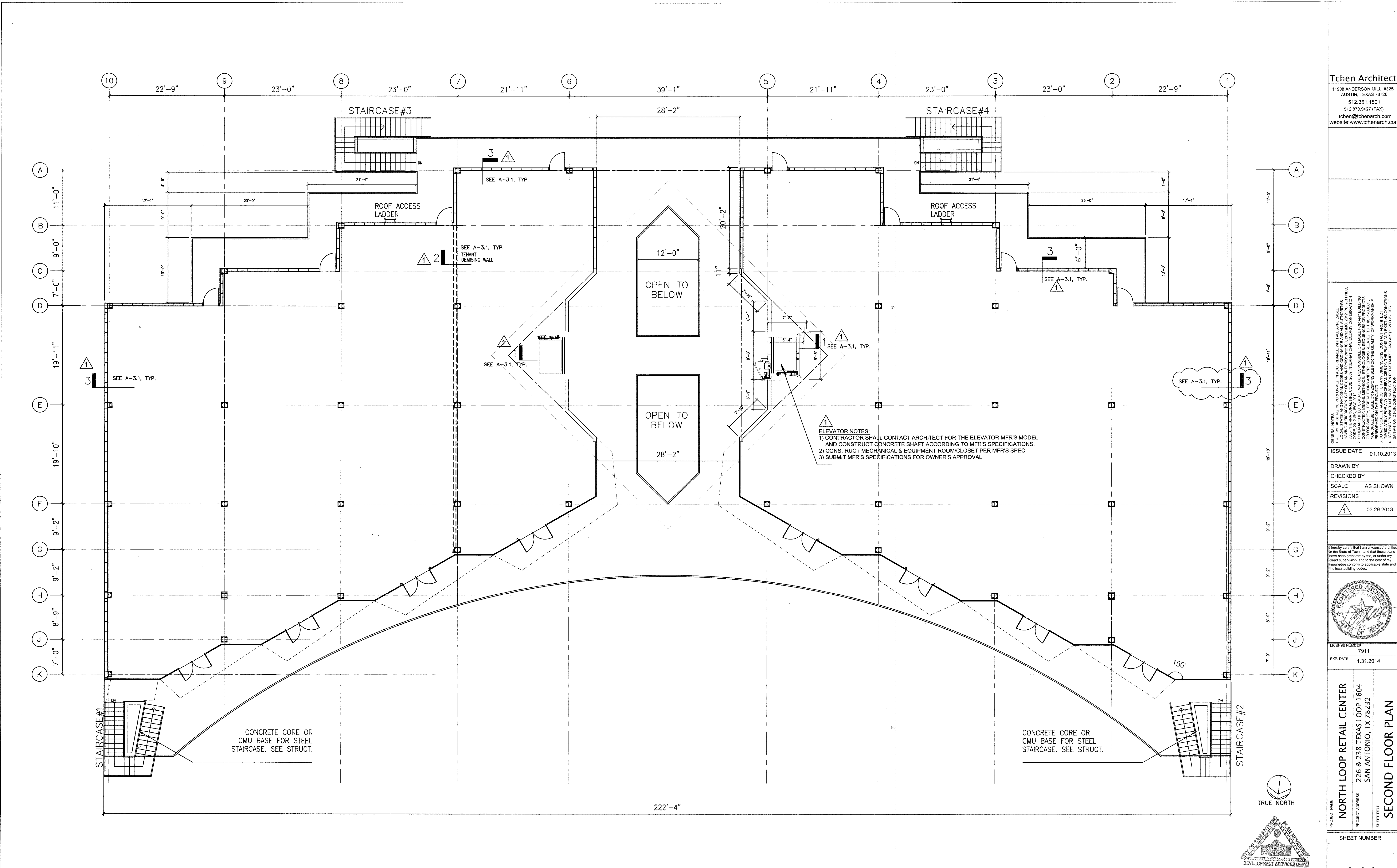
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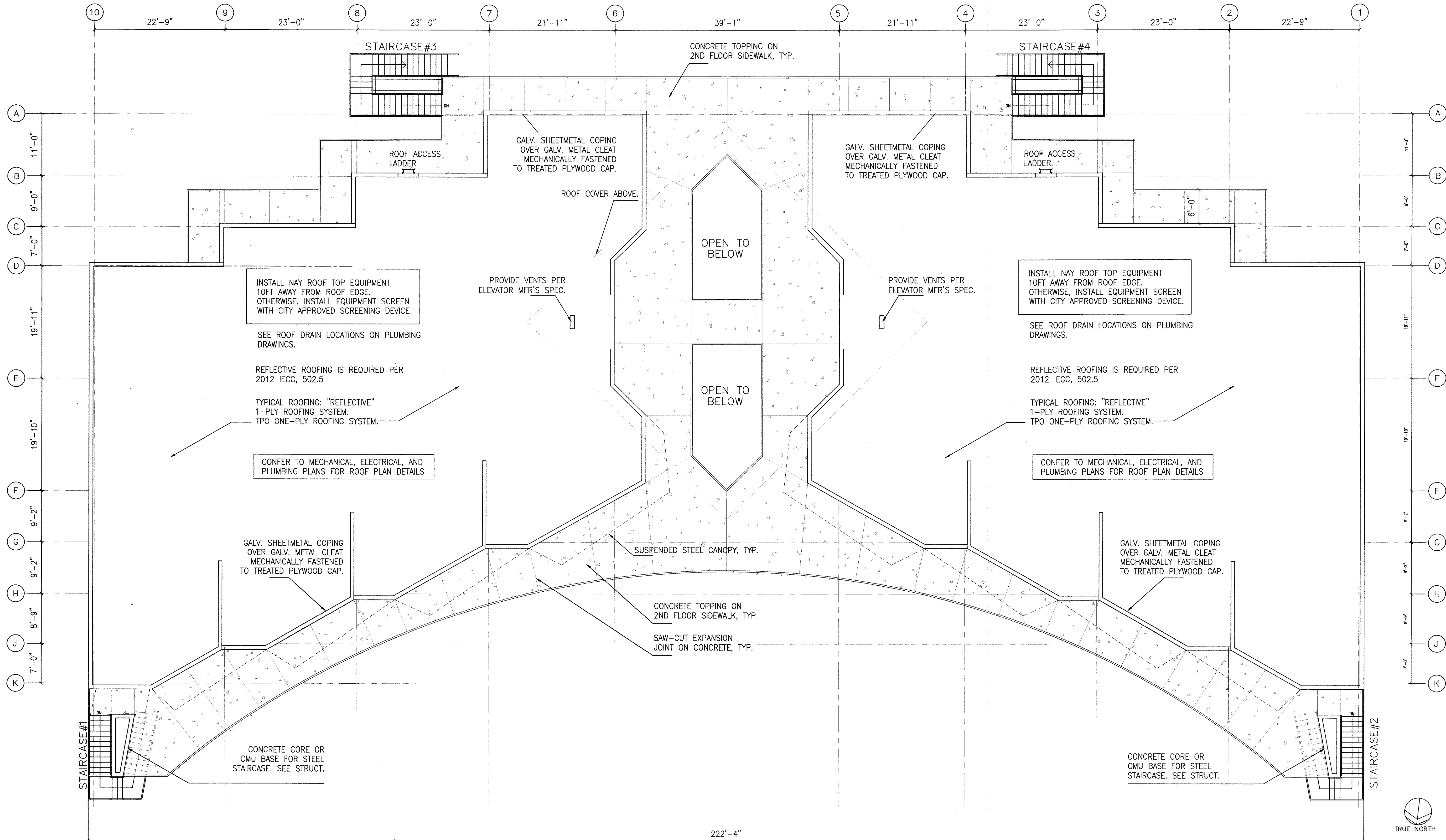
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PROJECT NAME
NORTH LOOP RETAIL CENTER
PROJECT ADDRESS
226 & 238 TEXAS LOOP 1604
SAN ANTONIO, TX 78232
SHEET TITLE
FIRST FLOOR PLAN

SHEET NUMBER

A-1.0





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GENERAL NOTES: AS PERFORMED IN ACCORDANCE WITH ALL APPLICABLE
1. LOCAL, STATE, AND NATIONAL CODES AND ORDINANCES AND ALL AUTHORITIES
HAVING JURISDICTION, CITY OF SAN ANTONIO 2018 IBC, 2012 IRC, 2012 EFC, 2011
CODE, 2012 IECC, 2012 IECC, 2012 IECC, 2012 IECC, 2012 IECC, 2012 IECC, 2012
2. CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PRODUCTS
NOT SHOWN SHALL BE THE RESPONSIBILITY OF THE ARCHITECT.
3. PERFORMED ON THE PROJECT.
4. IMMEDIATELY FOR ANY DISCREPANCIES ON THE PLANS AND EXISTING CONDITIONS
5. SAN ANTONIO FOR CONSTRUCTION.

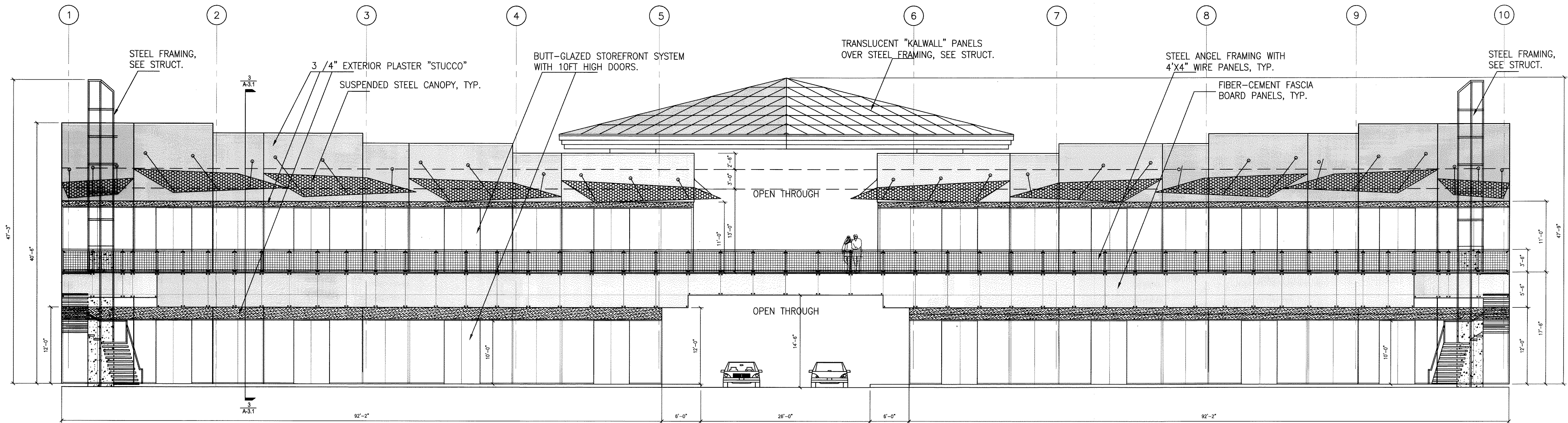
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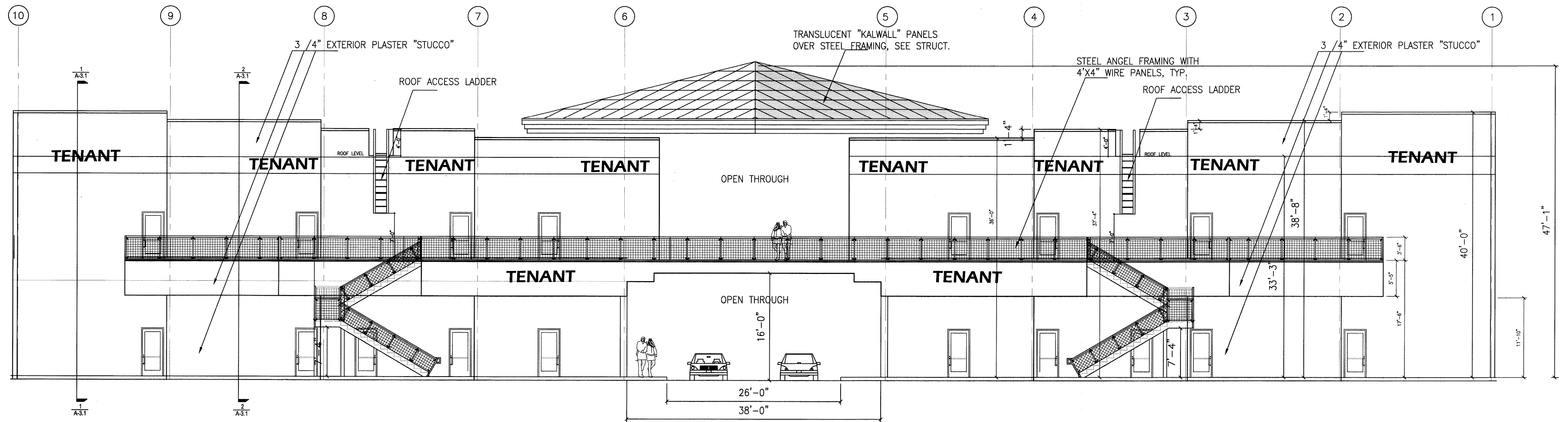
SCALE AS SHOWN

REVISIONS



1 NORTH ELEVATION

1/8" = 1'-0"



2 SOUTH ELEVATION

1/8" = 1'-0"

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5. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY CONTRACTS.
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10. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY RECORDS.

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SAN ANTONIO, TX 78222
SHEET TITLE
ELEVATIONS

SHEET NUMBER

A-2.0




$$1/8'' = 1' - 0''$$

A-2.1



Note: Reactions must be combined with Car
Rail reactions to determine maximum loads at
bracket support locations.

LANDING 9	NA
LANDING 8	NA
LANDING 7	NA
LANDING 6	NA
LANDING 5	NA
LANDING 4	NA
LANDING 3	NA
LANDING 2	NA
LANDING 1	14'-0"



SECTION A-A; 5' PIT SECTION VIEW

